

Morgantown Board of Zoning Appeals



MEETING PACKET

Wednesday, May 20, 2020

6:30 p.m.

Electronic Meeting

Board Members:

Harrison Case, Chair

Kevin Meehan, Vice Chair

Chris Benison

Heidi Cook

Garrett Tomblin

Development Services Department

Christopher M. Fletcher, AICP, Director

John Whitmore, AICP, Senior Planner



MORGANTOWN BOARD OF ZONING APPEALS

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City buildings remain closed to the public to protect public health during the COVID-19 pandemic. Personal attendance at the meeting will not be permitted. The public may participate in the public portion using the following Cisco Webex videoconference access options:

Web link: <https://cityofmorgantown.my.webex.com/meet/cityofmorgantown>

Meeting Number: 793 734 477

Phone: 408-418-9388

Access Code: 793 734 477

All members of the public may view the meeting on Channel 15 and by streaming hosted on the City's website at www.morgantownwv.gov. If you do not wish to speak at the meeting, please view it by these methods to conserve capacity on the videoconference.

Any person who wishes to speak at the meeting may complete the form at: <http://morgantownwv.gov/FormCenter/Public-Comment-Sign-Up-Sheet-14/Public-Comment-Morgantown-Board-of-Zonin-64> or provide their name, phone number they will use to participate, and the specific Case Number listed on the BZA's agenda on which they would like to speak by texting 304-906-7843 or calling 304-685-7813. You may sign up to speak at any time until the meeting begins. Additionally, the public may submit written comments for the public hearing portions of the meeting by sending written comments via email to the Development Services Department at bmcdonald@morgantownwv.gov. In the email, please use the subject line "Public Comment BZA 04/15/2020" and indicate in the body of the email the specific Case Number you wish to address and if you would like your comment to be read aloud during the public hearing portion for that case.

If you need an accommodation, please contact us at 304-284-7431.

AGENDA

I. CALL TO ORDER AND ROLL CALL

II. MATTERS OF BUSINESS:

A. Minutes for the April 15, 2020 hearing – Postponed.

III. UNFINISHED BUSINESS: None.

IV. NEW BUSINESS:

A. **V20-12 / WinCor Properties LLC / 215 Beechurst Avenue:** Request by Don Corwin on behalf of WinCor Properties LLC or variance relief from Section 1347.04 of the Planning and Zoning Code regarding side yard setbacks for a rear porch/deck feature.

Development Services
Christopher Fletcher, AICP
Director

Planning Division
John Whitmore, AICP
Senior Planner

389 Spruce Street
Morgantown, WV 26505
304.284.7431



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B. V20-13 / Mountain Heights Church / 318 Chestnut Street: Request by Bryant Noble on behalf of Mountain Heights Church for variance relief from Article 1369 concerning signage.

V. ANNOUNCEMENTS

VI. ADJOURNMENT

If you need an accommodation, please contact us at 304-284-7431.

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BZA Electronic Means Meeting Announcement

Confirming Member Access:

As a preliminary matter, this is **Morgantown Board of Zoning Appeals Chair Harrison Case**. Permit me to confirm that all members and persons anticipated on the agenda are present and can hear me.

- Members, when I call your name, please respond in the affirmative.

State each members' name.

- Board Vice-Chair Kevin Meehan
- Board Member Chris Benison
- Board Member Heidi Cook
- Board Member Garrett Tomblin

- Staff, when I call your name, please respond in the affirmative.

State each staff members' name.

- John Whitmore, Senior Planner

Introduction to Remote Meeting:

Good Evening. This meeting of the **Morgantown Board of Zoning Appeals** is being conducted remotely by electronic means consistent with the West Virginia Open Governmental Proceedings Act and the guidance of the West Virginia Ethics Commission due to the current State of Emergency given the outbreak of the novel coronavirus.

In order to mitigate the transmission of the virus and reduce risk of COVID-19 illness, we have been advised and directed to suspend public gatherings. In keeping with that direction, and the authority provided by the Open Governmental Proceedings Act and the Ethics Commission guidance allowing the conduct of public meetings by electronic means so long as the public is able to

BZA Electronic Means Meeting Announcement

observe the meeting, this meeting is being conducted by remote electronic participation and in-person attendance by the public is not permitted.

Public meetings do not always require the opportunity for the public to participate by offering public comments, but this meeting will include public comment portions for each of the cases listing on this evening's agenda. Members of the public will be permitted to comment during these portions by submitting comments in writing or by speaking during their designated time, if they have signed up to do so prior to the start of the meeting. Even if members of the public do not provide comment, participants are advised that people may be listening who do not provide comment, and those persons are not required to identify themselves.

For this meeting, **the Board of Zoning Appeals** is convening by **Cisco Webex video and telephone conference** as posted on the City's Website identifying how the public may join.

Please note that this meeting is being recorded, and that some attendees are participating by video conference.

Accordingly, please be aware that other people may be able to see you and your video feed, and that you take care not to "screen share" your computer. Anything that you broadcast may be captured by the recording.

All supporting materials that have been provided members of this body are available on the City's website with the Board of Zoning Appeals meeting packet unless otherwise noted. The public is encouraged to follow along using the posted agenda.

BZA Electronic Means Meeting Announcement

Meeting Business Ground Rules

Before we turn to the first item on the agenda, permit me to cover some ground rules for effective and clear conduct of our business and to ensure accurate meeting minutes.

- Please remember to mute your phone or computer when you are not speaking.
- Please remember to wait to be recognized by the Chair before speaking and to speak clearly and in a way that helps generate accurate minutes.
- For any response, please wait until the Chair yields the floor to you and state your name before speaking.
- If Board Members wish to engage in colloquy with other members, please do so through the Chair, taking care to identify yourself.

It is the duty of this Board to consider requests for relief from the requirements of the City's zoning regulations; to consider conditional use permit requests; and, to hear administrative appeals.

The Board conducts business in the following order:

- Review, amend, and approve minutes of a previous meeting.
- Unfinished Business
- New Business
- Announcements from Staff

Each request is heard in the order that it appears on the agenda. For each Conditional Use and Variance request, the following is done:

- I will introduce the agenda item and the Planning Division will present a Staff Report, which may or may not offer a recommendation.
- The applicant/agent will be asked to present their justification for their request, which may include questions by members of the Board.

BZA Electronic Means Meeting Announcement

- I will then open a **public hearing** to hear testimony in support of, or in opposition to, the request. The meeting Chair will proceed with public testimony as follows:
 - The Chair will first read, or have read, all written comments submitted, and will then review the list of public commenters who have signed up by the meeting start time.
 - Once the Chair has a list of all public commentators, I will call on each by name. All speakers will be limited to **five (5) minutes**. If members of the Board have any questions of the speaker, that time will not be counted toward his/her five (5) minutes. Public speakers must state their name and address for the record.
 - All comments must be addressed to the Board, should be relevant to the application, and may not be of a personal nature or personal attacks.
 - If there is a large number of speakers, including many who are part of groups or organizations, I may, to avoid repetitive comments, elect to ask for a representative to speak on behalf of the group or organization.
 - Speakers are notified that irrelevant comments or comments of a personal nature or personal attacks may result in the speaker forfeiting his/her opportunity to participate in the public hearing.
 - I may elect to recognize the applicant/agent at the end of the public hearing to provide rebuttal or additional comments, which will be limited to five (5) minutes. If members of the Board have any questions of the applicant/agent, that time will not be counted toward his/her five (5) minutes.
- After all testimony is heard, I will declare the **public hearing CLOSED** and no further public comment will be permitted.
- Uncivil, unruly, and/or disruptive behavior at any time during this meeting is prohibited and will result in removal from this public meeting.

BZA Electronic Means Meeting Announcement

- State law requires the Board to consider findings of fact for each conditional use and variance request. The request cannot be granted unless a majority of the quorum present finds in the positive of ALL of the findings of fact. The Board may elect to continue the hearing to another date if it needs additional information.
- Finally, because this public meeting is being conducted by remote electronic participation and to ensure accurate meeting minutes each vote taken during this meeting will be conducted by roll call vote.
- Applicants and requesting parties will be notified in writing by the Planning Division of the Board's findings and conclusions. Regardless of whether a request is approved or denied, decisions of the Board can be appealed to the Circuit Court of Monongalia County within thirty (30) days upon receipt of the written notification. Any work done relating to decisions rendered by this Board during this thirty-day period is at the sole financial risk of the applicant.

Thank you for your consideration and respect for these proceedings and the opinions of all meeting participants.

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MORGANTOWN BOARD OF ZONING APPEALS

May 20, 2020
6:30 p.m.
By Electronic Means

STAFF REPORT

Board Members:

Harrison Case, Chair
Kevin Meehan, Vice-Chair
Chris Benison
Heidi Cook
Garrett Tomblin

CASE NO: V20-12 / WinCor Properties LLC / 215 Beechurst Avenue

REQUEST and LOCATION:

Request by Don Corwin on behalf of WinCor Properties LLC or variance relief from Section 1347.04 of the Planning and Zoning Code regarding side yard setbacks for a rear porch/deck feature.

TAX MAP NUMBER(s) and ZONING DESCRIPTION:

B-2, Service Business District, BCOD, Beechurst Corridor Overlay District, and SSOD, Sunnyside South Overlay District.

SURROUNDING ZONING:

North, South, and West: B-2, Service Business District, BCOD, Beechurst Corridor Overlay District, and SSOD, Sunnyside South Overlay District.

East: R-3, Multi-Family Residential District, BCOD, Beechurst Corridor Overlay District, and SSOD, Sunnyside South Overlay District.

BACKGROUND AND ANALYSIS:

The petitioner seeks to build a rear multi-level deck/porch at 215 Beechurst Avenue, requiring variance relief from the B-2, Service Business District side setback standards. Addendum A of this report illustrates the location of the subject site.

Section 1347.04(A)(3) provides a five (5) foot side setback standard for one side and requires a twenty (20) foot side setback standard for principal structures where any access drives are located, as shown below:

1347.04 SETBACKS AND ENCROACHMENTS.	
(A) The following setbacks shall be required for all principal structures, except as otherwise provided in Section 1363.02(B) Yard, Building Setbacks and Open Space	
Exceptions:	
(1)	Minimum Front setback:..... 15 feet
(2)	Maximum Front setback:..... 30 feet
(3)	Minimum Side setback:..... 5 feet on one side and 20 feet on the side where any access drives are located.
(4)	Minimum Rear setback: 40 feet.

The minimum side setback standard of five (5) feet applies to both sides as there are no access drives associated with the property

In residentially zoned districts, zoning provisions allow for setback encroachments for decks, porches, stairways, and other similar features attached to a principal structure. The

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Board Members:

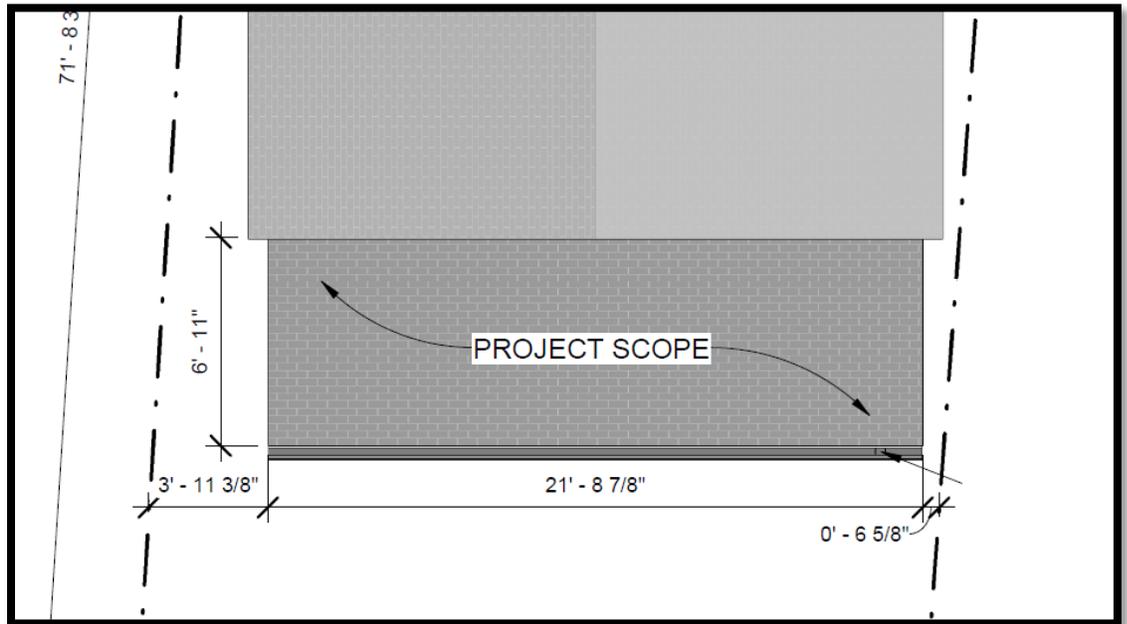
- Harrison Case, Chair
- Kevin Meehan, Vice-Chair
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B-2, Service District and other nonresidential districts do not include such provisions, requiring that all portions of the principal structure meet setback standards.

The table below identifies the proposed setbacks and requisite variance relief based on the five (5) foot setback standard.

Location	Proposed Setback	Required Variance
Northern Side Setback	3.95 Feet	1.05 Feet
Southern Side Setback	0.55 Feet	4.45 Feet

The below image is from the applicant's site plan indicating the extent of project, from the existing rear of the 215 Beechurst Avenue structure. Additional materials are included following the petitioner's application forms.



STAFF RECOMMENDATION:

It is the duty of the Board of Zoning Appeals to determine whether the proposed request meets the standard criteria for a variance by reaching a positive determination for *each* of the "Findings of Fact" submitted by the petitioner. If the Board disagrees with the petitioner's "Findings of Fact" and determines the proposed request does not meet the standard criteria for a variance, then the Board must state findings of fact and conclusions of law on which it bases its decision to deny the subject variance petition. [See WV State Code 8A-8-11(e) and 8A-7-11(b)].

Addendum B of this report provides revisions to the petitioner's Findings of Fact responses (deleted matter struck through; new matter underlined). Staff provides no recommendation whether variance relief should be granted as requested.

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STAFF REPORT ADDENDUM A

V20-12 / WinCor Properties LLC / 215 Beechurst Avenue



STAFF REPORT ADDENDUM A
V20-12 / WinCor Properties LLC / 215 Beechurst Avenue



STAFF REPORT ADDENDUM B

V20-12 / WinCor Properties LLC / 215 Beechurst Avenue

The following revisions are recommended to the petitioner's findings of fact responses (deleted matter struck-through; new matter underlined). Staff recommended revisions should not be considered or construed as supporting or opposing the merits of the petitioner's responses or the subject variance petition.

Finding of Fact No. 1 – The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

Reconstruction of the rear deck will not have adverse effects as it will use the footprint of the original structure. This work will have no impact on pedestrian safety and does not encroach on any adjacent structure. Replacement is necessary due to the removal of the old porch/deck addition which was in a dilapidated and unstable condition and had to be removed for safety reasons. The new deck will be constructed based on ~~2018 international Residential Building Code~~ current building requirements. This new structure will be safer and more aesthetically pleasing.

Finding of Fact No. 2 – The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

215 Beechurst Avenue property is approximately 100 years old. The rear porch/deck addition was added approximately 60 years ago. The house is "non-conforming" based on the current code and side setback requirement. The interior of this property has been reconditioned and inspected. It meets all occupancy code requirements. Replacement of the deck is necessary to finalize this work.

Finding of Fact No. 3 – The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:

It is necessary to reconstruct the deck to provide an entrance into the ground floor of the ~~house~~ structure. The second floor has doors allowing access to the outside deck. Reasonable land usage applies as this work is wholly consistent with adjacent houses that have exterior decks. This usage of the land is consistent with the neighborhood aesthetic and allows for continued use of the property and providing a finished look to the house.

Finding of Fact No. 4 – The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

~~Reconstruction of the rear deck is wholly within the intent and application of zoning ordinance. This property lies on Beechurst Avenue which has the highest volume of vehicular traffic through Morgantown. An improved exterior appearance will enhance the neighborhood and the City in general. In addition, WVU's new Business College building, a \$110 million dollar facility is under construction a block away. Enhancement of nearby properties should be an important component of this revitalization. The rear deck's encroachment into the side setbacks appears to be consistent with development patterns along the Beechurst Avenue corridor. This property is zoned B-2, Service Business District~~

and has two-additional overlay districts providing heightened development requirements related to building and site design. At issue, is a side-yard setback for a rear feature which will not interfere with increased urban density encouraged for this area, and will allow for the continued use of a considerably older structure which may provide some continued benefit to the neighborhood and larger community.



OFFICE USE
CASE NO. _____

APPLICATION FOR VARIANCE

(PLEASE TYPE OR PRINT IN BLACK INK)

Fee: \$150.00 [Z-V]

I. APPLICANT/AGENT		Name: WinCor Properties	
Mailing Address:	251 Beechurst Avenue		Phone: 304-292-0400
	Street	Morgantown WV 26505	Mobile:
	City State Zip		Email: admin1@wincorproperties.com
II. PROPERTY		Street Address: 251 Beechurst Avenue	
Owner:	WinCor Properties LLC		Zoning:
Mailing Address:	251 Beechurst Avenue		Tax Map No:
	Street	Morgantown WV 26505	Parcel No:
	City State Zip		Phone:
III. NARRATIVE		Describe the specific use and the standard for which the variance is sought.	
<p>Applicant requests relief from 1347.04 (A) (3) as it relates to side setback. Applicant is reconstructing a deck on the rear of the house that does not meet the required 5 foot setback.</p>			
IV. ATTEST		Françoise Roy	
<p>I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a variance does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions. I hereby authorize the Development Services Department to erect a notification sign on the subject property approximately 15 days prior to the BZA hearing. I further agree to maintain said signage and hereby accept responsibility in case of destruction or removal.</p>			
Don E. Corwin			
Type/Print Name of Applicant/Agent		Signature of Applicant/Agent	
		Date	
		3-31-20	

APPLICATION FOR VARIANCE

You or a representative **MUST** be in attendance at the scheduled hearing to present this request and answer questions. Failure to appear at the hearing will result in your variance petition being tabled and potential delay of your project.

V. SITE PLAN

This application must be accompanied by a site plan illustrating the following information, unless otherwise stipulated by the Planning Division or Board of Zoning Appeals.

- Vicinity map showing all adjacent properties and nearby streets within a 300-foot radius around the project site, drawn or illustrated at an appropriate scale.
- A site plan (3 copies) drawn to scale at a minimum 1" = 50' and a maximum of 1" = 10' and include the following:
 - The actual dimensions, size, square footage, and shape of the lot to be built upon as shown on an actual survey by a licensed land surveyor or registered design professional licensed by the State of West Virginia and as authorized by West Virginia State law.
The exact sizes and locations on the lot of existing structures, if any.
 - The location(s), square footage(s), and dimensions of all proposed principal, accessory and/or temporary structure(s), and/or alteration(s).
 - The location of the lot with respect to adjacent rights-of-way.
 - Parking Plan. The location and dimensions of off-street parking and means of ingress and egress for such space.
 - Required and proposed setbacks.
 - Buffer yard location and landscaping and screening plan, if applicable. Landscaping Plan should be a separate drawing based on the site plan.
 - Location of garbage collection area and screening.
 - Location of existing and/or proposed signage, if applicable.
 - Roadway typical detail for internal roadways, if applicable.
- Additional information that may be required by the Planning Division or the Board of Zoning Appeals includes building elevations/renderings, floor plans, traffic impact study, existing and proposed grading plans, erosion and sediment control plan, stormwater management plan, etc.

VI. FINDINGS OF FACT

The Board of Zoning Appeals may grant a variance request only if each of the following "Findings of Fact" criteria are determined to be in the positive. Applicants must give their own responses to the following finding of fact statements.

APPLICATION FOR VARIANCE

VI. FINDINGS OF FACT	COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.
<p>1. The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:</p> <p>Reconstruction of the rear deck will not have adverse effects as it will use the footprint of the original structure. This work will have no impact on pedestrian safety and does not encroach on any adjacent structure. Replacement is necessary due to the removal of the old deck which was in a dilapidated and unstable condition and had to be removed for safety reasons. The new deck will be constructed based on 2018 International Residential Building Code requirements. This new structure will be safer and more aesthetically pleasing.</p>	
<p>2. The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:</p> <p>The 215 Beechurst Avenue property is approximately 100 years old. The rear addition was added approximately 60 years ago. The house is "non-conforming" based on the current code and side setback requirement. The interior of this property has been reconditioned and inspected. It meets all occupancy code requirements. Replacement of the deck is necessary to finalize this work.</p>	



OFFICE USE
CASE NO. _____

APPLICATION FOR VARIANCE

VI. FINDINGS OF FACT	COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.
<p>3. The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:</p> <p>It is necessary to reconstruct the deck to provide an entrance into the ground floor of the house. The second floor has doors allowing access to the outside deck. Reasonable land usage applies as this work is wholly consistent with adjacent houses that have exterior decks. This usage of the land is consistent with the neighborhood aesthetic and allows for continued use of the property and providing a finished look to the house.</p>	<p>4. The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:</p> <p>Reconstruction of the rear deck is wholly within the intent and application of zoning ordinance. This property lies on Beechurst Avenue which has the highest volume of vehicular traffic through Morgantown. An improved exterior appearance will enhance the neighborhood and the City in general. In addition, WVU's new Business College building, a \$110 million dollar facility, is under construction a block away. Enhancement of nearby properties should be an important component of this revitalization.</p>

City of Morgantown Application

Plan Review

Submittal Date

3 / 30 / 2020

Type of Work: Demo Asbestos New SFD New COMM

Garage Addition Deck Sprinkler Fire Alarm Grading

Remodel or Repair Shed Other

Property Information

Street Address Where Work will be done: 215 Beechurst Avenue	26505 Morgantown, WV
Contact EMAIL: donc@wincorproperties.com	

Square ft of Build 160

Cost of Project \$8500

Sprinkler Head Count n/a

SIGNATURE OF APPLICANT

ADDRESS OF APPLICANT

PRINT NAME

PHONE

OFFICE USE ONLY

PERMIT:

New SFD:

FIRE New COMM:

New COMM:

Sprinkler:

Garage:

Fire Alarm:

Addition:

Sign:

Site Plan:

Other:

Application Processed By: _____

DATE

Total Fee

City of Morgantown Application for Building Permit

Application Date 3 / 30 / 2020	Type of Work: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Demo <input checked="" type="checkbox"/> Deck <input type="checkbox"/> Mechanical <input type="checkbox"/> Grading <input type="checkbox"/> Asbestos <input type="checkbox"/> Remodel or Repair <input type="checkbox"/> Shed <input type="checkbox"/> Other	Is Applicant Yes Owner? (Y/N)
--	--	---

PROPERTY INFORMATION:		
Parcel Type: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Rental/ Commercial <input type="checkbox"/> Industrial		
Street Address Where Work is being done: 215 Beechurst Avenue	Morgantown, WV	Zip Code: 26505
Owners First Name: Don	Last Name: Corwin	Phone: 304-292-0400
Owners Address (if different from above address): 251 Beechurst Avenue		

CONTRACTORS INFORMATION:	Contractors Business Name	City License Number
General Contractor	WInCor Properties (Owner)	2783
Excavation		
Concrete		
Carpentry		
Electrical		
Plumbing		
Sewer		
Mechanical		
Roofing		
Masonry		
Drywall/Lathing		
Demolition		
Other		

SCOPE OF WORK TO BE DONE:
Detailed Description of Work:
<h2 style="margin: 0;">Build and finish new deck on rear of house.</h2>
This deck will replace the dilapidated deck structure that became detached from the house and was removed.
<h2 style="margin: 0;">See attached drawings for deck construction details.</h2>
MUST ATTACH DETAILED SITE PLAN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Est. Value of Work \$8,500.00

I here by certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to this permit.

SIGNATURE OF APPLICANT	ADDRESS OF APPLICANT	PHONE
PRINT NAME: _____		

OFFICE USE ONLY:

Map/Parcel	Zoning	Ward	Flood Plain

APPROVALS:

Engineering Department Approval Notes:

Signature of person reviewing: _____ **DATE**

Planning Department Approval Notes:

Signature of person reviewing: _____ **DATE**

Code Enforcement Approval Notes:

Signature of person reviewing: _____ **DATE**

VALIDATION:

Permit Number:	Fee
Other:	Fee
Stop Work Order:	Fee

Application Accepted and Processed By: _____

Total Fee

Approved By: _____ **DATE**

Signature of Person Picking Up Building Permit: _____ **DATE**

Print Name of Person Picking up Permit: _____

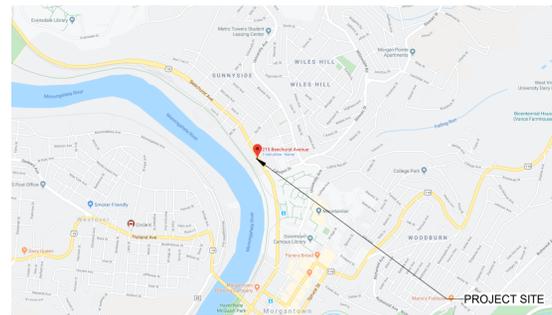
215 BEECHURST DECK

CONSULTANTS:

STRUCTURAL:

MIKE HOWELL
 ARROW ENGINEERING
 1028 Village Drive
 Morgantown, WV, 26505
 (304) 435-8828
 MIKE@ARWCG.COM

SHEET LIST	
Sheet Number	Sheet Name
CS	COVER SHEET
G001	ABBREVIATIONS/SYMBOLS
A000	SITE PLAN
A100	FLOOR PLAN & ROOF PLAN
A300	SECTIONS
S001	STRUCTURAL NOTES
S100	FRAMING PLANS AND DETAILS



LOCATION PLAN



VICINITY MAP



NOTE: SEE LS SHEETS FOR CODE DATA AND LIFE SAFETY INFORMATION



PROJECT:
215 BEECHURST DECK
 215 BEECHURST AVENUE, MORGANTOWN, WV 26501
 WinCor Properties
COVER SHEET

Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:
PERMIT SET

Project number	20-012
Date	2/21/2020
Drawn by	MB
Checked by	RH

CS

Scale
 SCALE REFERS TO 24" X 36" PAPER SIZE

SYMBOLS/LEGEND

	SECTION VIEW NUMBER SHEET NUMBER
	SEE ENLARGED DETAIL VIEW VIEW NUMBER SHEET NUMBER
	BUILDING ELEVATION VIEW NUMBER SHEET NUMBER
	INTERIOR ELEVATION VIEW NUMBER SHEET NUMBER
	DATUM ELEVATION
	SPOT ELEVATION
	ROOM NAME ROOM NUMBER
	WALL TYPES
	WINDOW NUMBER
	DOOR NUMBER
	KEYED NOTES
	MATERIAL / FINISH ID
	ASSEMBLY / EQUIPMENT TAG
	REVISION NUMBER
	EXISTING DOOR
	EXISTING OPENING, NEW DOOR ASSEMBLIES
	NEW DOOR
	NEW PARTITION
	EXISTING CONSTRUCTION TO REMAIN
	CONSTRUCTION TO BE REMOVED

MATERIALS

	EARTH		WOOD FRAMING/ BLOCKING
	CMU BLOCK		RIGID INSULATION
	GLASS		BATT INSULATION
	BRICK		PLASTER/MORTAR/ GYPSUM BOARD
	GRAVEL		CONCRETE

ABBREVIATIONS

A	AFF	ABOVE FINISHED FLOOR
	AFS	ABOVE FLOOR SLAB
	AC DR	ACCESS DOOR
	AC	ACOUSTIC(AL)
	ACB	ACOUSTICAL BAFFLE
	ACT	ACOUSTICAL TILE
	AC PNL	ACOUSTICAL PANEL
	AC WP	ACOUSTICAL WALL PANEL
	ADD	ADDENDUM
	ADH	ADHESIVE
	ADJT	ADJUSTABLE (MENT)
	A/C	AIR CONDITIONING
	AHU	AIR HANDLING UNIT
	ALT.	ALTERNATE
	ALUM.	ALUMINUM
	A.B.	ANCHOR BOLT
	ANCH	ANCHOR
	ANOD	ANODIZE
	&	AND
	APPROX	APPROXIMATE (LY)
	ARCH	ARCHITECT(URAL)
	ASP	ASPHALT
	ASF	ABOVE SUBFLOOR
	@	AT
	AVG	AVERAGE
B	BSMT.	BASEMENT
	BM	BEAM
	BRG	BEARING
	B.P.L.	BEARING PLATE
	BEL	BELOW
	B.M.	BENCH MARK
	BET	BETWEEN
	BFFM	BEVELED FRAME FLOOR MAT
	BIT	BITUMINOUS
	BLK	BLOCK(ING)
	BD	BOARD
	BW	BOTH WAYS
	BOT	BOTTOM
	BC	BOTTOM CURB
	BRKT	BRACKET
	BRK	BRICK
	BLDG	BUILDING
	BLKHD	BULKHEAD
	BUR	BUILT UP ROOFING
C	CAB	CABINET
	CPT	CARPET
	CSMT	CASEMENT
	CI	CAST IRON
	CLKG	CAULKING
	CLG.	CEILING
	CEM.	CEMENT
	CL	CENTER LINE
	CER	CERAMIC
	CT	CERAMIC TILE
	CMT	CERAMIC MOSAIC TILE
	CBD	CHALKBOARD
	C	CHANNEL
	CR	CLASSROOM
	CO	CLEAN OUT
	CLR	CLEAR (ANCE), COLOR
	CL	CLOSET
	COL	COLUMN
	COMB	COMBINATION
	COMP	COMPACT(ED)
	CO	COMPANY
	CONC	CONCRETE
	CMU	CONCRETE MASONRY UNIT
	CONST	CONSTRUCTION
	CONT	CONTINUOUS
	CLL	CONTRACT LIMIT LINE
	CJ	CONTROL JOINT
	COP	COPPER
	CG	CORNER GAURD
	CORR	CORRIDOR
	CTR	COUNTER
	CSK	COUNTERSUNK
	CFT	CUBIC FOOT
	CYD	CUBIC YARD
	CUST	CUSTODIAN
D	DP	DAMPROOFING
	DEPT	DEPARTMENT
	DL	DETAIL
	DIAG	DIAGONAL(LY)
	DIAM	DIAMETER
	DIM	DIMENSION
	DISP	DISPENSER
	DIV	DIVISION
	DR	DOOR
	DBL	DOUBLE
	DH	DOUBLE HUNG
	DN	DOWN
	DS	DOWNSPOUT
	DWR	DRAWER
	DWG	DRAWING
	DF	DRINKING FOUNTAIN

E	EA	EACH
	E	EAST
	ELEC	ELECTRIC (AL)
	EL	ELEVATION
	ELEV	ELEVATOR
	EMER	EMERGENCY
	ENCL	ENCLOSE (URE)
	EQ	EQUAL
	EXH	EXHAUST
	EXIST	EXISTING
	EJ	EXPANSION JOINT
	EXP	EXPOSED
	EXT	EXTERIOR
F	FWC	FABRIC WALL COVERING
	FOS	FACE OF STUDS
	F	FAHRENHEIT
	FCU	FAN COIL UNIT
	FAS	FASTEN (ER)
	FGL	FIBERGLASS
	FIN	FINISH (ED)
	FFE	FINISH FLOOR ELEVATION
	FA	FIRE ALARM
	FE	FIRE EXTINGUISHER
	FEC	FIRE EXTINGUISHER CABINET
	FER	FIRE EXTINGUISHER RECESS
	FHC	FIRE HOSE CABINET
	FR	FIRE RATED
	FP	FIREPROOF(ING)
	FLG	FLASHING
	FL	FLOOR (ING)
	FD	FLOOR DRAIN
	FLUOR	FLOURESCENT
	FP PTN	FOLDING PANEL PARTITION
	FT	FOOT (FEET)
	FTG	FOOTING
	FND	FOUNDATION
	FS	FULL SIZE
	FURR	FURRING
	FUT	FUTURE
G	GALV	GALVANIZED
	GI	GALVANIZED IRON
	GA	GAGE, GAUGE
	GEN	GENERAL
	GC	GENERAL CONTRACT (OR)
	GL	GLASS, GLAZING
	GB	GRAB BAR
	GR	GRADE
	GYP	GYPSUM
	GWB	GYPSUM WALLBOARD
H	HC	HANDICAP/ HOLLOW CORE
	HNDRL	HANDRAIL
	HDW	HARDWARE
	HWD	HARDWOOD
	HT	HEIGHT
	HTG	HEATING
	HDR	HEATER
	HVAC	HEATING/VENTILATION/AIRCONDITIONING
	HD	HEAVY DUTY
	HP	HIGH POINT, HIGH PRESSURE
	HC	HOLLOW CORE
	HM	HOLLOW METAL
	HOR	HORIZONTAL
	H.B.	HOSE BIB
	HWH	HOT WATER HEATER
	HR	HOUR
I	IN	INCH
	INC	INCOMPLETE
	INCL	INCLUDE (D), (ING)
	ID	INSIDIE DIAMETER
	INSUL	INSULATE (D), (ION)
	IRMA	INSULATED ROOF MEMBRANE ASSEMBLY
	INT	INTERIOR
	INV	INVERT
J	JC	JANITOR'S CLOSET
	JT	JOINT
	JST	JOIST
K	KIT	KITCHEN
	KDN	KNOCKDOWN
	K/O	KNOCK OUT

L	LBL	LABEL
	LAB	LABORATORY
	LAM	LAMINATE (D)
	LAV	LAVORATORY
	LH	LEFT HAND
	LT	LIGHT
	LT WT	LIGHT WEIGHT
	LF	LINEAR FOOT
	LL	LIVE LOAD
	LP	LOW POINT, LOW PRESSURE
	LVR	LOUVER
	L	LOCKER
	LUM	LUMINOUS
M	MACH	MACHINE
	MH	MANHOLE
	MFR	MANUFACTURE
	MAR.	MARBLE
	MB	MARKER BOARD
	MAS	MASONRY
	MO	MASONRY OPENING
	MR	MOISTURE RESISTANT
	MATL	MATERIAL(S)
	MAX	MAXIMUM
	MECH	MECHANIC(AL).
	MEMB	MEMBRANE
	MTL	METAL
	MTP	METAL TOILET PARTITION
	MEZZ	MEZZANINE
	MWK	MILLWORK
	MIN	MINIMUM(S)
	MR	MIRROR
	MISC	MISCELLANEOUS
	MOD	MODULAR
	MB	MOISTURE BARRIER
	MTD	MOUNT (ED), (ING)
	MOV	MOVABLE
	MULL	MULLION
N	NF	NATURAL FINISH
	N	NORTH
	NTD	NOTED
	NIC	NOT IN CONTRACT
	NTS	NOT OT SCALE
	NO	NUMBER
	NOM	NOMINAL
O	OFF	OFFICE
	OC	ON CENTER
	OPG	OPENING
	OPP	OPPOSITE
	OH	OPPOSITE HAND
	OD	OUTSIDE DIAMETER
	OA	OVERALL
P	PT	PAINT
	PTD	PAINTED
	PR	PAIR
	PNL	PANEL
	PTDP	PAPER TOWEL DISPENSER
	PTR	PAPER TOWEL RECEPTACLE
	PB	PARTICLE BOARD
	PTN	PARTITION
	PVG	PAVING
	PERF	PERFORATE(D)
	PSF	PER SQUARE FOOT
	PSI	PER SQUARE INCH
	PLAS	PLASTER
	PLAM	PLASTIC LAMINATE
	PL	PLATE
	POL	POLISHED
	PLYWD	PLYWOOD
	PS	PROJECTION SCREEN
	PVA	POLYVINYL ACETATE
	PVC	POLYVINYL CHLORIDE
	PE	PORCELAIN ENAMEL
	PF	POROUS FILL
	PC	PRECAST
Q	QT	QUARRY TILE
R	RAD	RADIUS
	RP	RADIANT HEAT PANEL
	RL	RAIN LEADER
	RECEP	RECEPTABLE
	RFM	RECESSED FLOOR MAT
	RFL	REFLECT(ED)(IVE)(OR)
	REFRIG	REFRIGERATOR
	REG	REGISTER
	REINF	REINFORCE(D), (ING)
	RH	RELATIVE HUMIDITY
	REQD	REQUIRED
	RES	RESILIENT
	RT	RESILIENT TILE
	RET	RETURN
	RA	RETURN AIR
	REV	REVISION(S), (ED)

R con't	RH	RIGHT HAND
	RHR	RIGHT HAND REVERSE
	ROW	RIGHT OF WAY
	R	RISER
	RF	ROOF
	RFG	ROOFING
	RD	ROOF DRAIN
	RM	ROOM
	RO	ROUGH OPENING
	RND	ROUND
	RBR	RUBBER
	RT	RUBBER TILE
S	SND	SANITARY NAPKIN DISPENSER
	SNR	SANITARY NAPKIN RECEPTALCE
	SCHED	SCHEDULE
	STG	SEATING
	SECT	SECTION
	SHTH.	SHEATHING
	SH	SHEET
	SM	SHEET METAL
	SHLVG	SHELVING
	SHR	SHOWER
	SIM	SIMILAR
	SL	SLATE
	SC	SOLID CORE
	S	SOUTH
	SAB	SOUND ATTENUATION BLANKET
	SP	SPANDREL
	SPEC	SPECIFICATION
	SF CMU	SPLIT FACE CMU
	SQ	SQUARE
	SS	STAINLESS STEEL
	STD	STANDARD(S)
	STL	STEEL
	STOR	STORAGE
	SD	STORM DRAIN
	STRUCT	STRUCTURAL
	SFT	STRUCTURAL GLAZED TILE
	SUBFL	SUBFLOOR
	SURF	SURFACE
	SUSP	SUSPEND(ED)
	SYM	SYMMETRY of SYMBOL
	SYS	SYSTEM
T	TEL	TELEPHONE
	TV	TELEVISION
	TEMP	TEMPERED
	TC	TERRA COTTA OR TOP CURB
	TER	TERRAZZO
	THK	THICK (NESS)
	THRESH	THRESHOLD
	TP	TOILET PAPER DISPENSER
	T&G	TONGUE & GROOVE
	TF	TOP OF FOOTING
	TSL	TOP OF SLAB
	TS	TOP OF STEEL
	TW	TOP OF WALL
	TWB	TOWEL BAR
	T	TREAD
	TYP	TYPICAL
U	UL	UNDERWRITER'S LAB, INC/ UNDERLAYMENT
	UNF	UNFINISHED
	UON	UNLESS OTHERWISE NOTED
	UR	URINAL
	US	URINAL SCREEN
	U/V	UNIT VENTILATOR
	UTS	UTILITY SHELF
V	V/B	VAPOR BARRIER
	VAR	VARIES
	VERT	VERTICAL(LY)
	VEST	VESTIBULE
	VCT	VINYL COMPOSITION TILE
	VIF	VERIFY IN FIELD
	VWC	VINYL WALL COVERING
W	WSCT	WAINSCOT
	WH	WALL HUNG/WALL HYDRANT
	WC	WATER CLOSET
	WP	WATERPROOF
	WR	WATER RESISTANT
	WT.	WEIGHT
	WWF	WELDED WIRE FABRIC
	W	WEST/WIDE/WIDTH
	WB	WHITE BOARD
	WF	WIDE FLANGE
	WIN	WINDOW
	W/	WITH
	W/O	WITHOUT
	WD	WOOD
	WP	WORKING POINT
Y	YD	YARD



PROJECT:
215 BEECHURST DECK
215 BEECHURST AVENUE, MORGANTOWN, WV 26501
WinCor Properties

ABBREVIATIONS/SYMBOLS

Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:
PERMIT SET

Project number	20-012
Date	2/21/2020
Drawn by	MB
Checked by	RH



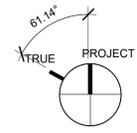
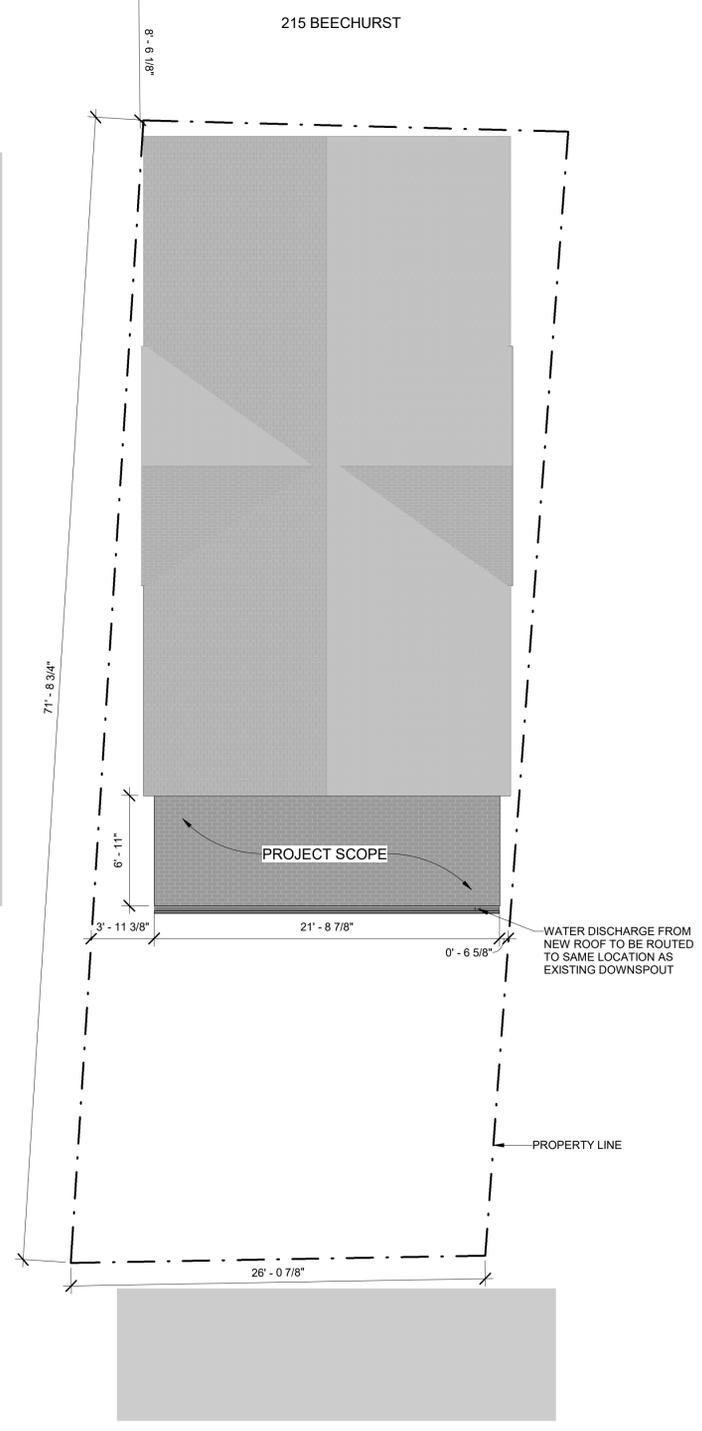
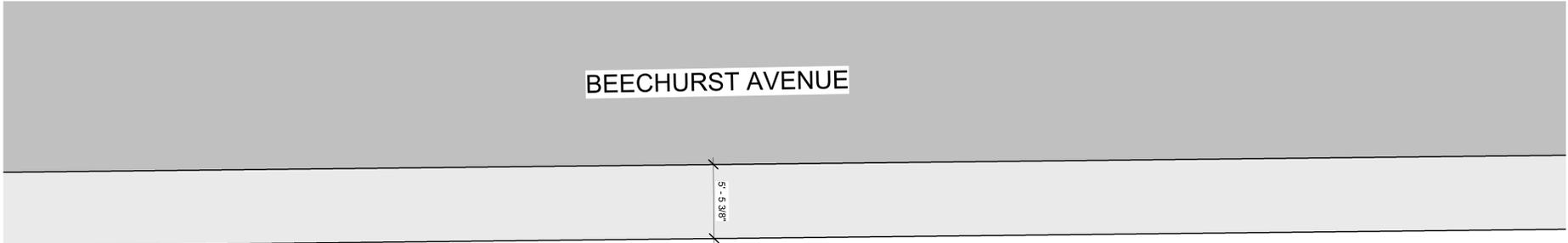
PROJECT:
215 BEECHURST DECK
 215 BEECHURST AVENUE, MORGANTOWN, WV 26501
 WinCor Properties
SITE PLAN

Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:
PERMIT SET

Project number 20-012
 Date 2/21/2020
 Drawn by MB
 Checked by RH

A000
 Scale 3/16" = 1'-0"
 SCALE REFERS TO 24" X 36" PAPER SIZE



1 SITE PLAN
 3/16" = 1'-0"

NOTE: PROPERTY LINES BY OTHERS.
 PROVIDED BY: MONONGALIA PARCEL VIEWER

KEYED NOTES

1. COLUMNS: STANDARD PRESSURE-TREATED LUMBER 6X8 WOOD.
2. INTERMEDIATE POSTS: STANDARD LUMBER 6X6 WOOD. SEE STRUCT. NOTES.
3. PATH OF RAILING. SEE STRUCT. NOTES.
4. ROOF: SEE STRUCT. NOTES.
5. ROOF OVERHANG TO BE 1'-0", TYP. SEE STRUCT. NOTES.
6. GUTTER: SEE STRUCT. NOTES.
7. DOWNSPOUT: SEE STRUCT. NOTES.
8. ROOF FLASHING TO BE APPLIED AT EXIST. BUILDING FACADE. SEE STRUCT. NOTES.



ARCHITECTURE ■ PLANNING ■ PRESERVATION
 63 WHARF STREET, SUITE 300 MORGANTOWN, WV 26501
 304.296.1010 WWW.MILLSGROUPONLINE.COM



304.435.8828 info@arwcg.com
 www.arwcg.com



PROJECT:
215 BEECHURST DECK
 215 BEECHURST AVENUE, MORGANTOWN, WV 26501
 WinCor Properties
FLOOR PLAN & ROOF PLAN

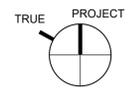
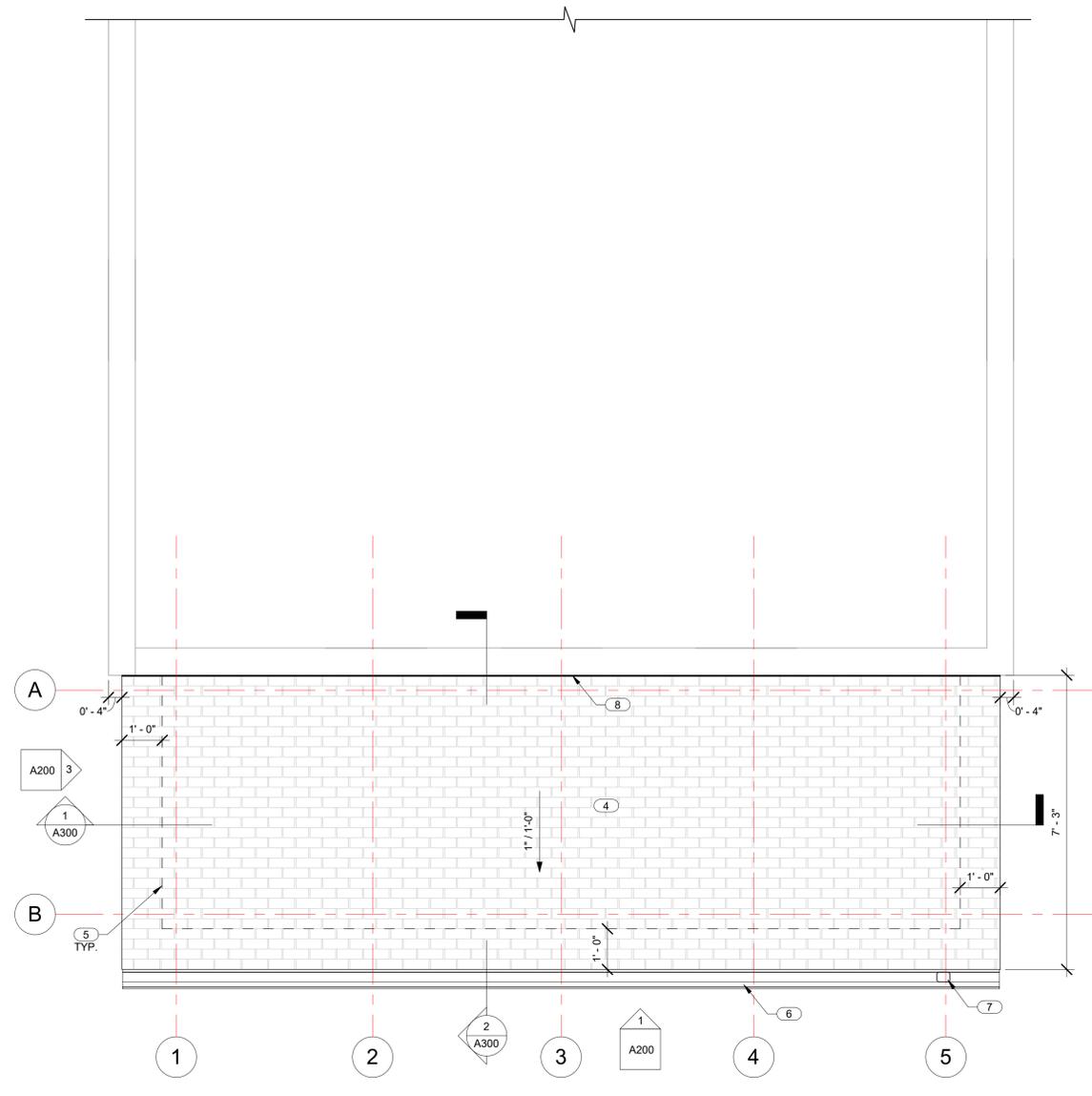
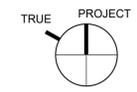
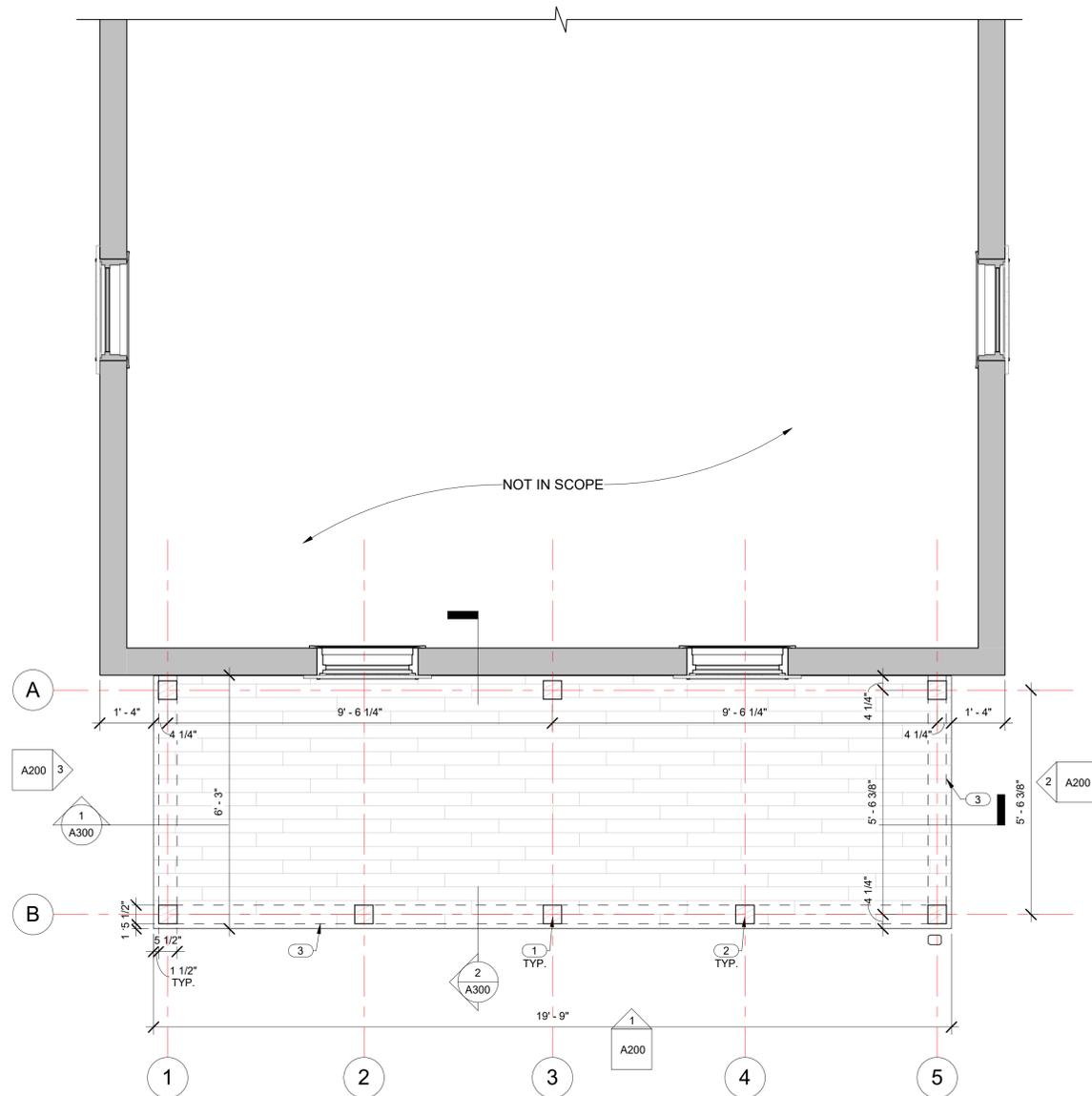
Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:

PERMIT SET

Project number	20-012
Date	2/21/2020
Drawn by	MB
Checked by	RH

A100
 Scale As indicated
 SCALE REFERS TO 24" X 36" PAPER SIZE



KEYED NOTES

1. ROOF FLASHING TO BE APPLIED AT EXIST. BUILDING FACADE.
2. SELECTIVE FLASHING NECESSARY AROUND EXTERIOR WINDOW SILL ON EXIST. FACADE. SEE STRUCTURAL DRAWINGS FOR RAIL DETAILS.
3. OWNER TO UTILIZE EXISTING OPENING FOR NEW DOOR.

MILLS GROUP
 ARCHITECTURE ■ PLANNING ■ PRESERVATION
 63 WHARF STREET, SUITE 300 MORGANTOWN, WV 26501 53 14TH STREET, SUITE 607 WHEELING, WV 26003
 PH. 304.296.1010 WWW.MILLSGROUPONLINE.COM PH. 304.293.0048

ARROW ENGINEERING
 304.435.8828 info@arwgc.com www.arwgc.com



PROJECT:
215 BEECHURST DECK
 215 BEECHURST AVENUE, MORGANTOWN, WV 26501
 WinCor Properties
SECTIONS

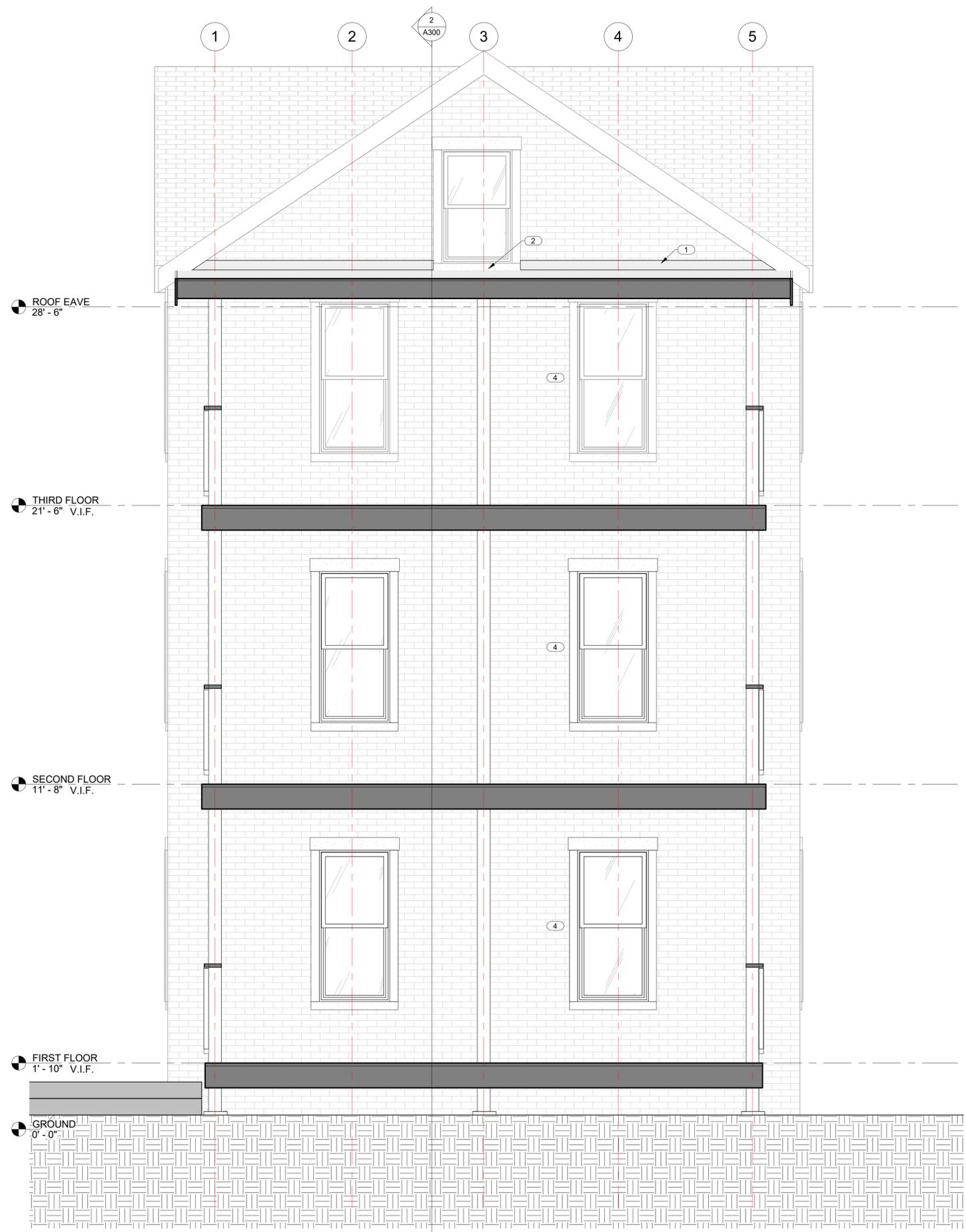
Revision Schedule

No.	Revision Description	Date

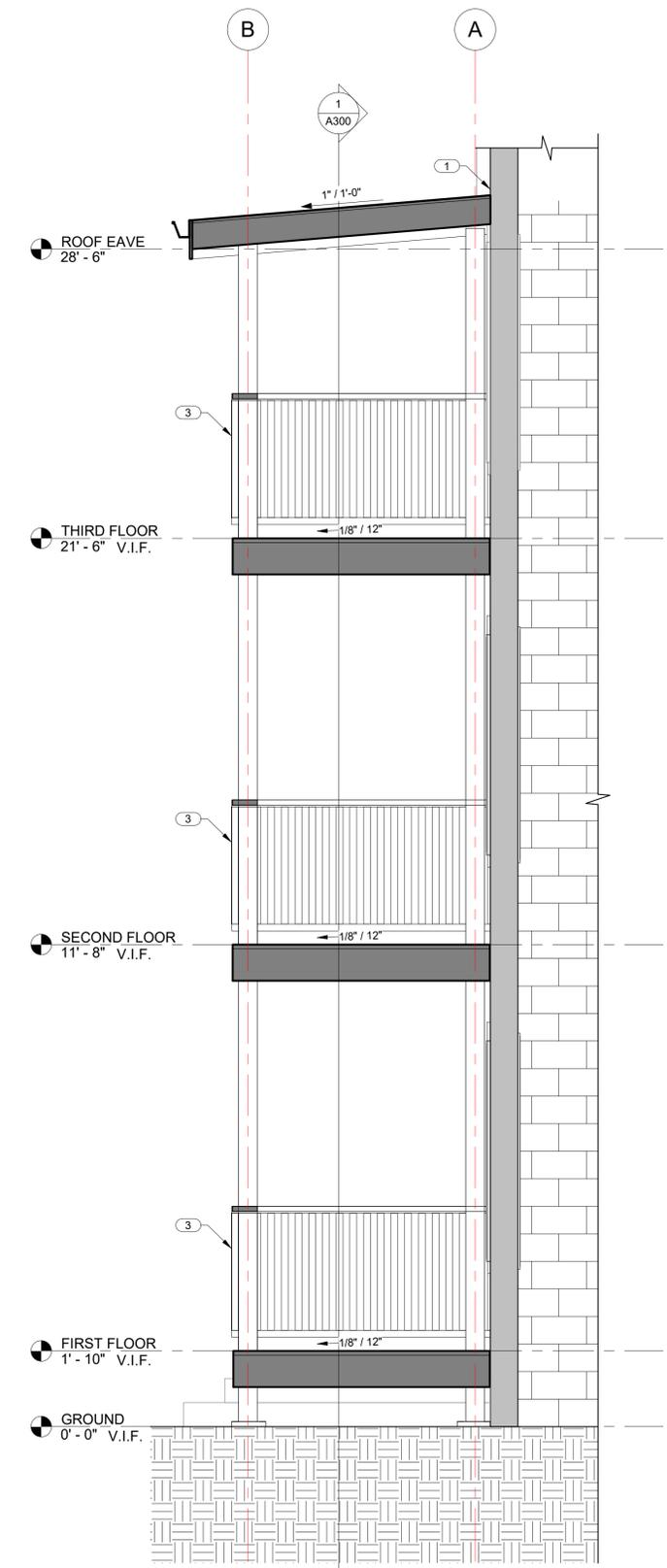
INTENDED DRAWING USE:
PERMIT SET

Project number 20-012
 Date 2/21/2020
 Drawn by MB
 Checked by RH

A300
 Scale As indicated
 SCALE REFERS TO 24" X 36" PAPER SIZE



1 SECTION THROUGH DECK
 1/2" = 1'-0"



2 CROSS-SECTION THROUGH DECK
 1/2" = 1'-0"

General Notes:

- 1. Design Code: International Residential Building Code.
2. No provisions have been made for future horizontal or vertical expansion.
3. General Contractor shall verify all dimensions and conditions related to existing construction, existing services, and the site.
4. Construction loads shall not exceed design live loads. Shoring and re-shoring is the responsibility of the General Contractor.
5. The project is only stable in its completed form. The requirement for any and all bracing, shoring, or temporary supports and the planning sequences requiring them is the responsibility of the contractor.

Arrow Engineering's Scope of Services: Arrow Engineering has been engaged to provide deck framing plans. It has not conducted any study of the existing structure.

Design Data:

Wind: Ultimate 3-Second Gust Design Wind Speed: 115 mph
Nominal 3-Second Gust Design Wind Speed: 90 mph
Wind exposure classification: B
Internal Pressure Coefficient: +/- 0.18

Live Loads:

Residential: Decks 40 psf

Snow load data:

Ground Snow Load: P_g 25 psf
Flat Roof Snow Load: P_f 25 psf (min)
Snow Exposure Factor: C_e 1.0
Thermal Factor: C_t 1.0
Snow Load Importance Factor: I_s 1.0

Seismic load data:

Seismic Importance Factor: I_e 1.00
Mapped Spectral Response Accel. Parameters: S_w = 0.134; S₁ = 0.052
Mapped Spectral Response Accel. Parameters: S_{0.05} = 0.134; S_{0.10} = 0.052
Seismic Site Class: D (assumed)
Seismic Design Category: B
SFRS: Ord. Wood Frame
Structure Weight: 5 kips
Response Modification Coefficient: R 3.0
Seismic Response Coefficient: C_s 1.1
Seismic Procedure Used: ELFP

Construction Means & Methods:

- 1. Contractor assumes responsibility for job site conditions, including safety of all persons, property, and condition of materials, during the course of work and for the duration of the project.
2. The structural engineers work as presented in these documents represents the finished structure.
3. Observation visits to the site by structural engineer shall not include inspection of any item and a third party inspector shall complete all required inspections of the site.
4. The means and methods of construction rest solely in the responsibility of the contractor and the structural engineer has no control over or charge of these items nor shall not be responsible in any way for construction means, methods, techniques, sequences, or procedures, or safety or safety precautions and programs in connection with any construction activities, since these are solely contractor's responsibility.
5. The structural engineer will not be held responsible for the contractor's schedule or ability to carry out any construction activities in accordance with the contract documents or their own agreed upon timeline with the owner.

Existing Conditions:

- 1. Where provided, dimensions related to existing conditions have been provided for general reference only based on assumed data.
2. Contractor shall verify all existing dimensions and elevations and shall notify Arrow Engineering for any discrepancies.

Shop Drawing and Submittal Requirements:

- 1. The project manual shall govern all submittal requirements.
2. The general contractor shall review, check, and stamp "Approved" all shop drawings prior to submitting them to the Architect.
3. The General Contractor shall provide a shop drawing submittal schedule for anticipated submittals at least two weeks prior to submittal of the first set of shop drawings.
4. Submittals including shop drawings must be approved prior to the start of fabrication.
5. Reproducing Arrow's drawings in whole or in part for use in shop drawings is cause for rejection of the entire submittal.
6. Electronic copies of Arrow's drawings may be available on a case-by-case basis for an additional charge.

Performance and Quality Requirements:

- 1. No provision of any referenced standard specification, manual or code (whether or not specifically incorporated by reference in the contract documents) shall be effective to change the duties and responsibilities of owner, contractor, engineer, supplier, or any of their consultants, agents, or employees from those set forth in the contract documents.
2. Contractor shall review the project site and contract documents and warrants that it has the capacity to complete the project as planned for the project budget and within the timeline allotted to the owner.
3. Contract documents include those which are published directly by Arrow Engineering including but not limited to, the structural documents (drawings and specifications).
4. Reference to standard specifications or any technical society, organization, or association or to codes of local or state authorities, shall mean the latest standard, code, specification or tentative specification adopted at the date of taking bids, unless specifically stated otherwise.
5. Where a conflict occurs within the contract documents to any recognizable material specification or building code, the strictest requirement shall govern.
6. Contractor shall obtain and coordinate edge of slab and roof deck edge dimensions with other disciplines (which may include vendor supplied information only available after bidding), opening locations and size, depressed slab locations and extents, slab slopes, curb locations, and non structural wall locations.
7. The responsibility for all means, methods, sequences, techniques, and procedures used during construction is the responsibility of the contractor.
8. Contractor has sole responsibility to comply with all OSHA regulations.
9. The following list of items are not the responsibility of Arrow Engineering and have not been included in the scope of work (unless noted otherwise).

- Steel, concrete pan, or timber framed stairs and their connections
- Guardrail and handrail
- Cold formed metal framing
- Furnishing and finishes
- Storage or shelf systems
- Waterproofing or thermal envelope details below or above grade
- Elevator rail and hoist coordination requirements

Timber & Carpentry:

- 1. All timber and carpentry work shall conform to National Design Specification for Timber Construction and generally acceptable criteria for finish carpentry work.
2. Materials for structural elements such as joists, rafters, headers, and other horizontal members shall be Southern Pine No. 2 construction minimum, unless a higher grade is shown on the drawings.
3. Materials for bearing walls shall be Southern Pine No. 3 construction or equivalent Douglas Fir-Larch unless shown otherwise on the drawings.
4. Materials must be grade marked clearly with a 19% moisture content maximum and stored in dry conditions while on site.
5. Laminated Veneer Lumber (LVL) and Parallel Strand Lumber (PSL) based on Weyerhaeuser "Trus Joist" type 2.0E grade with the following properties:
Fb: 2,600 psi
E: 2,000,000 psi
Fc (perp.): 750 psi
Fc (parallel): 2,510 psi
Fv: 285 psi

- 6. Plywood floor sheathing shall be APA rated CD interior with exterior glue, thickness as shown on the drawings (unless required by different designers for specified areas).
7. Plywood wall sheathing shall be APA rated CD interior with exterior glue. Thickness as shown on the drawings (unless required by different designers for specified areas).
8. All joists shall have either full height bridging or diagonal cross bridging at eight foot maximum intervals along spans.

- 9. Splices for multi-ply beams shall occur at supports with adequate bearing only. All multi-ply member beams shall be attached together by glueing and nailing with (4) 10d nails at 12" o.c. in rows.
10. Support all headers and beams with (2) jack studs to underside of element and (1) full height king stud.

- 11. Anchor wood sills to concrete with 1/2" dia. minimum hot-dip galvanized, headed anchor bolts with 0.25" x 3" x 3" hot dip galvanized washers embedded 7" minimum at 72" max. o.c. Provide one anchor bolt at 8" in each direction from corner. Provide two bolts minimum per piece of sill plate.

- 12. Prefabricated timber trusses shall be fabricated by a certified timber truss manufacturer.
13. Trusses shall be fabricated with wood chords and webs in accordance with the National Design Standards for Metal Plate Connected Wood Truss Construction, ANSI/TPI 1, latest Edition, by the Truss Plate Institute.
14. Contractor shall provide and install all necessary bracing for timber trusses, bracing shall be in accordance with the recommendations for bracing wood trusses, publication H1B, latest edition, by the Truss Plate Institute.

- 15. At building ends, special gable-end trusses shall be used. Trusses shall be designed and fabricated with vertical studs no more than 16" o.c. At gable end walls, studs shall be balloon framed to the bottom of the trusses.

- 16. Plans and details for framing are a schematic representation of the framing at various locations and conditions on this project. The contractor shall not scale or count framing members shown as a substitute for shop drawings and an accurate quantity takeoff.
17. All unspecified connections to be made according to the International Residential and Building Code Empirical design criteria. Joist and rafter hangers, ties, hold-downs and other preengineered connectors shall be "Simpson Strong-Tie" or approved equal. Size and usage shall be as shown on the drawings, specified in these notes and as recommended by the manufacturer.

- 18. Install a Simpson "H2.5A" metal tie at the top and a Simpson "H3" metal tie at the bottom of every exterior stud where the stud joins the top plate and sill plate, where an "H2.5A" metal tie is required at truss ends.
19. All timber outside the building envelope shall be pressure treated. All connections outside the building envelope shall be made with hot-dip galvanized bolts or nails. Where specified, paint fastener hardware with exterior rated black color.

Foundation and Footings:

- 1. Foundation design is based on assumed geotechnical soil type assumptions. Contractor to verify that the soil at the site is suitable for bearing of structure.
2. As excavation occurs on the project site, unforeseen conditions may become evident. Arrow Engineering reserves the right to redesign the foundations as required if unforeseen geotechnical conditions are discovered.
3. The foundations for this project are spread and/or continuous bearing footings. If suitable soil is not encountered (suitable being defined as soil of the type and characteristics of that which the foundation recommendations within the Geotechnical Report are based on), it is required that the contractor over excavate until such bearing can be assured - or as directed by the project's Geotechnical Engineer of Record - and a lean concrete pad be placed between the strata of suitable soil and the recommended bottom of footing elevation.
4. Contractor is responsible for notifying Arrow Engineering of any unusual soil conditions that are in variance with the test borings which also includes ground water, substandard bearing material, or obstructions.

- 5. All below grade foundation walls are to be considered stable only when supported at the next floor level and backfilling against them until such framing is in place is prohibited unless otherwise noted.
6. The backfill behind all foundation walls has been assumed to be 'dry' granular type with a maximum density of 75 pcf.
7. All recommendations of the Geotechnical Report must be adhered to.
8. "Wet setting" of reinforcing or anchor bolts is prohibited. All reinforcing or anchor bolts must be securely placed prior to pouring.

- 9. The subgrade under slabs-on-grade and foundations must be compacted to 98% of optimum laboratory density in accordance with ASTM D698 Standard Proctor Method. Place fill in 6" to 8" lifts and compact with vibratory tamping equipment.
10. Contractor shall locate all underground utilities prior to beginning excavation.

- 11. When excavations approach the ground water level, the water level shall be continuously lowered by an acceptable dewatering system so that the water level is maintained continuously a minimum of 2'-0" below the excavation.

- 12. Shale containing pyrites must be protected as indicated in the Geotechnical Report. Structural fill must be screened and shall not contain any pyrites in it.

Structural Concrete:

- 1. Cast-in-place concrete work shall conform to the American Concrete Institute 318-14. The minimum compressive strength of all concrete used in this project shall be 3,000 psi.
2. The air content of all concrete exposed to freezing and thawing or where required to be watertight shall be 4.5%-7.5%. All other applications shall be 3%-4%.
3. The water to cement ratio for all concrete subjected to freezing and thawing in moist conditions or required to be watertight shall have a maximum water-cement ratio of 0.45. All reinforced concrete exposed to deicing salts, brackish water, seawater, or spray from these sources shall have a maximum water-cement ratio of 0.40. All water used in concrete mixes (including that which is added at the site) must be potable and accounted for in the mix design published by the supplier.

- 4. Maximum aggregate size shall be 1 1/2", well graded, well-shaped (not elongated, flat, or slippery), and free of clay, dirt, and excess fines, U.N.O. Aggregate composition shall consist of quartz, limestone, dolomite, granite, or feldspar.
5. All cement shall be type 1 unless noted.

- 6. The maximum slump of any concrete shall be less than 3" unless noted.
7. All reinforcing to be ASTM A615, Grade 60.
8. The welded wire fabric used in floor slabs shall be ASTM A185. All wire mesh must be supported adequately during pouring to prevent sag under the weight of concrete or construction personnel.

- 9. All reinforcing shall be located a minimum amount of 'cover' from the surface according to the following:
All bars cast against or exposed to earth3 inches
No. 6 bars or larger exposed to weather.....2 inches
No. 5 or smaller bars exposed to weather.....1.5 inches
No. 14 or larger bars in other applications.....1.5 inches
No. 11 or smaller bars in other applications.....0.75 inches

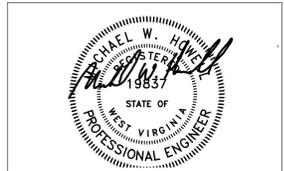
- 10. Reinforcing bar lap splices and anchorage lengths shall conform with ACI 318-14. All splices shall be Type B.
11. Top layer of reinforcing steel in slabs and footings shall be considered top bars regardless of thickness of concrete below the bars.

- 12. Provide standard lap splice at all horizontal bars in corners and intersections.
13. Where not explicitly defined, all slabs and walls shall have minimum reinforcement per ACI 318-14 accounted for in their construction.

- 14. See architectural drawings for finish requirements including edge conditions. Curing practices may need to accommodate certain floor finishes which should be coordinated prior to pouring. Chamfer / tool any exposed edge of concrete with 1/2" chamfer unless otherwise noted.
15. Contractor shall coordinate the location of all embeds, conduits, anchor bolts, etc., with other disciplines prior to pouring any concrete in which these items are located.

Structural Abbreviations:

Table with 4 columns: Abbreviation, Full Name, Abbreviation, Full Name. Includes terms like @ AT, A.B. ANCHOR BOLT, B/O BOTTOM OF, etc.



PROJECT: 215 BEECHURST DECK
215 BEECHURST AVENUE, MORGANTOWN WV 26501
Owner
Structural Notes

Revision Schedule table with columns: No., Revision Description, Date. Includes INTENDED DRAWING USE: FOR CONSTRUCTION. Project number: 20-012, Date: 2/21/2020, Drawn by: MWH, Checked by: MWH. Scale: 12" = 1'-0". SCALE REFERS TO 24" X 36" PAPER SIZE.

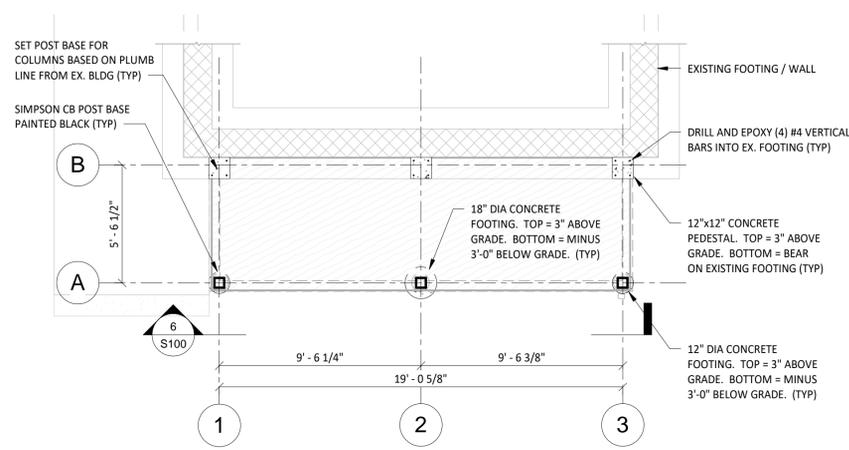


PROJECT:
215 BEECHURST DECK

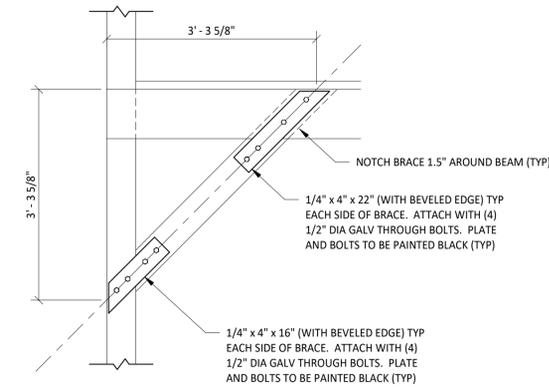
215 BEECHURST AVENUE, MORGANTOWN WV 26501

Owner

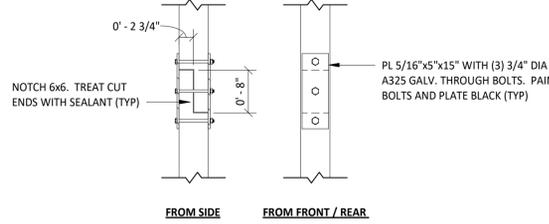
Framing Plans and Details



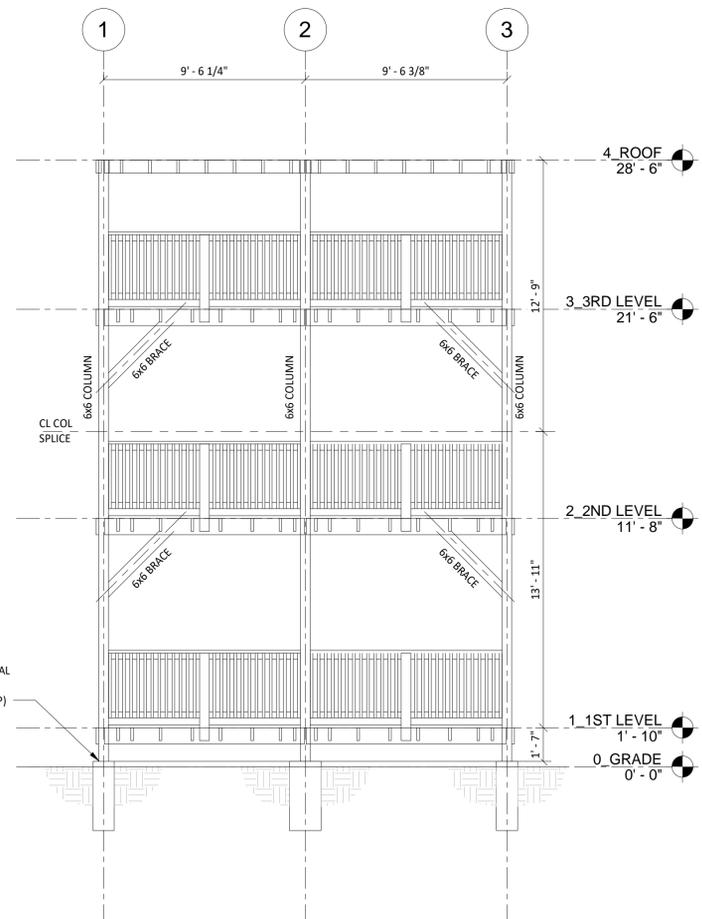
PLAN
FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



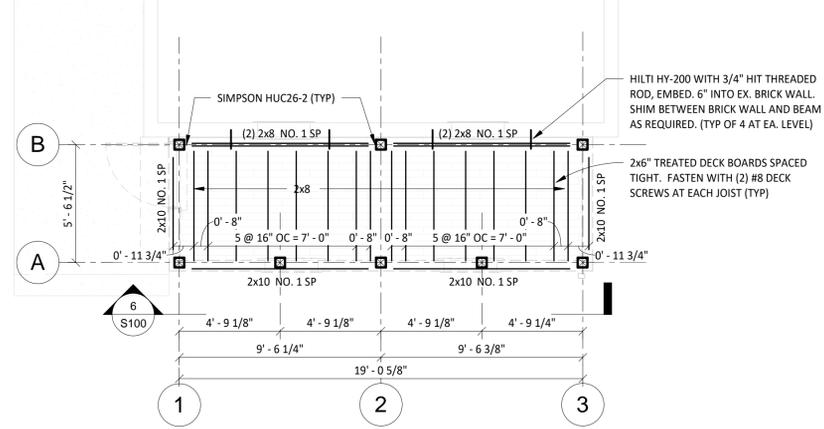
4
BRACE DETAIL
 SCALE: 3/4" = 1'-0"



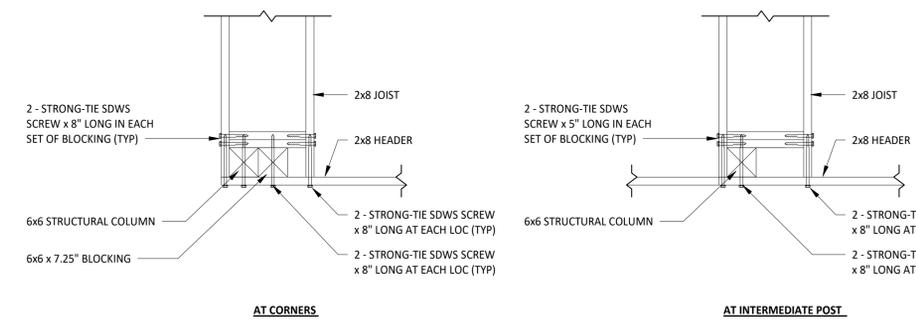
8
SPLICE DETAIL
 SCALE: 3/4" = 1'-0"



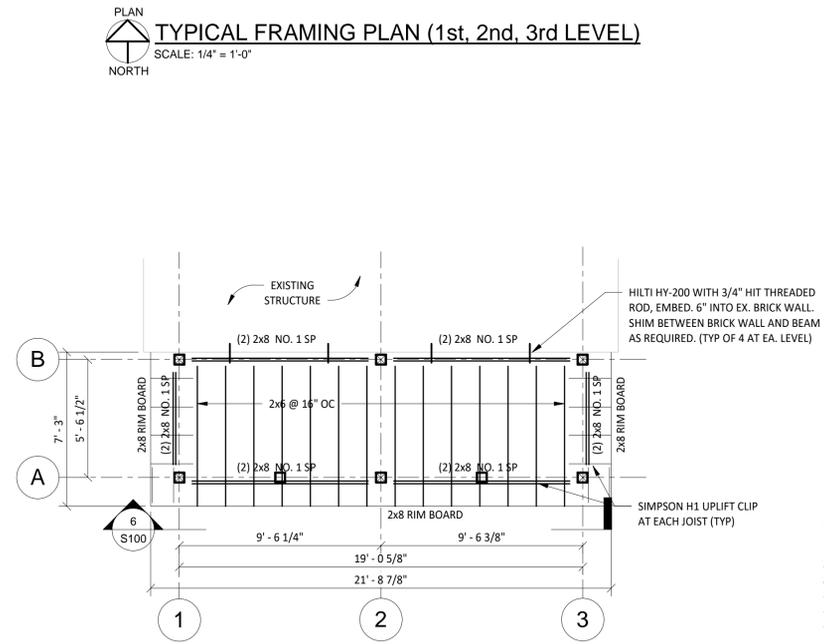
6
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



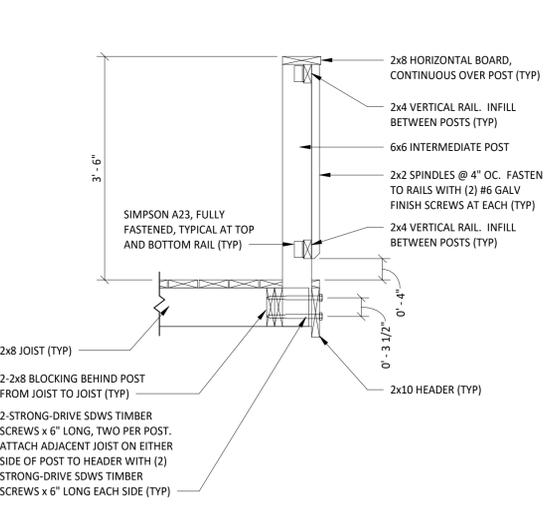
PLAN
TYPICAL FRAMING PLAN (1st, 2nd, 3rd LEVEL)
 SCALE: 1/4" = 1'-0"
 NORTH



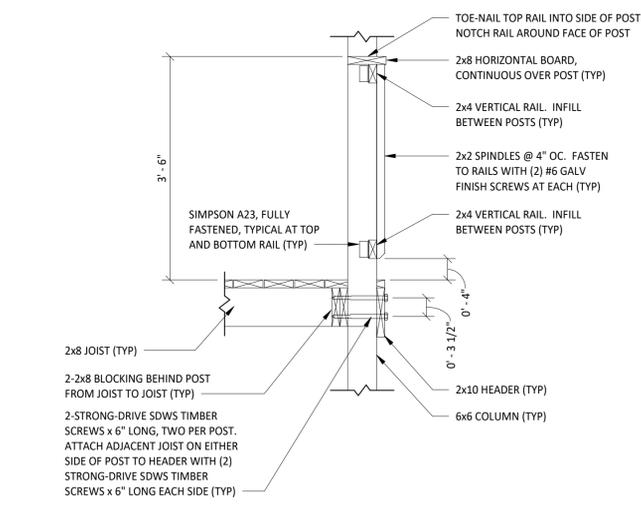
3
GUARDRAIL POST PLAN DETAIL
 SCALE: 3/4" = 1'-0"



PLAN
ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



GUARDRAIL AT INTERMEDIATE POST



GUARDRAIL AT STRUCTURAL COLUMN

7
GUARDRAIL DETAIL
 SCALE: 3/4" = 1'-0"

Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:
FOR CONSTRUCTION

Project number	20-012
Date	2/21/2020
Drawn by	MWH
Checked by	MWH

S100
 Scale As indicated
 SCALE REFERS TO 24" X 36" PAPER SIZE

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MORGANTOWN BOARD OF ZONING APPEALS

May 20, 2020
6:30 p.m.
By Electronic Means

STAFF REPORT

Board Members:

Harrison Case, Chair
Kevin Meehan, Vice-Chair
Chris Benison
Heidi Cook
Garrett Tomblin

CASE NO: V20-13 / Mountain Heights Church / 318 Chestnut Street

REQUEST and LOCATION:

Request by Bryant Noble on behalf of Mountain Heights Church for variance relief from Article 1369 concerning signage.

TAX MAP NUMBER(s) and ZONING DESCRIPTION:

Third Ward Tax District, Tax Map 26A, Parcel 59; B-4, General Business District

SURROUNDING ZONING:

B-4, General Business District.

BACKGROUND:

The petitioner seeks to install wall signage at 318 Chestnut Street, requiring variance relief from Article 1369 of the Planning and Zoning Code. Addendum A of this report illustrates the location of the subject site.

The petitioner submitted this item's variance petition application on 09 FEB 2020. An internal processing error occurred resulting in the physical application being undiscoverable in City of Morgantown Development Services Department files. While record of the application was recovered from the City of Morgantown Financing Department, this record is only the first page of the application, indicating payment. To facilitate this application, Development Services Department staff has coordinated with the applicant regarding the Findings of Fact as provided in Addendum B of this report.

Given the ongoing COVID-19 Emergency, Staff has not been able to fully research how this situation occurred. Going forward, staff will coordinate with the Finance Department to ensure applications are initially received and provided a case number and filed prior to payment to avoid this event from reoccurring.

ANALYSIS:

Section 1369.07(I) provides a maximum wall sign area standard of 0.4 square feet for every one-foot of tenant building frontage in B-4 District. The linear width of the tenant's frontage is approximately 36 feet, which establishes a maximum wall sign area standard of 14.4 square feet. The proposed sign is 25 square feet requiring variance relief of 15.6 square feet as illustrated in the table on the following page.

Development Services

Christopher Fletcher, AICP
Director

John Whitmore, AICP
Senior Planner

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431



MORGANTOWN BOARD OF ZONING APPEALS

May 20, 2020
 6:30 p.m.
 By Electronic Means

Board Members:

- Harrison Case, Chair
- Kevin Meehan, Vice-Chair
- Chris Benison
- Heidi Cook
- Garrett Tomblin

Wall Sign	Sign Area
	25 sf
Total Permitted Sign Standards	14.4 sf
Total Requested Variance	15.6 sf

The proposed wall signage will utilize permitted sign foam, therefore not requiring variance from Section 1369.08(B) Lighting and Design Standards.

STAFF RECOMMENDATION:

It is the duty of the Board of Zoning Appeals to determine whether the proposed request meets the standard criteria for a variance by reaching a positive determination for *each* of the “Findings of Fact” submitted by the petitioner. If the Board disagrees with the petitioner’s “Findings of Fact” and determines the proposed request does not meet the standard criteria for a variance, then the Board must state findings of fact and conclusions of law on which it bases its decision to deny the subject variance petition. [See WV State Code 8A-8-11(e) and 8A-7-11(b)].

Addendum B of this report restates the petitioners Findings of Fact responses.

As is customary with sign variance petitions, no recommendation is submitted by Staff concerning whether variance relief should be granted

Attachments: Application and accompanying materials

Development Services

Christopher Fletcher, AICP
 Director

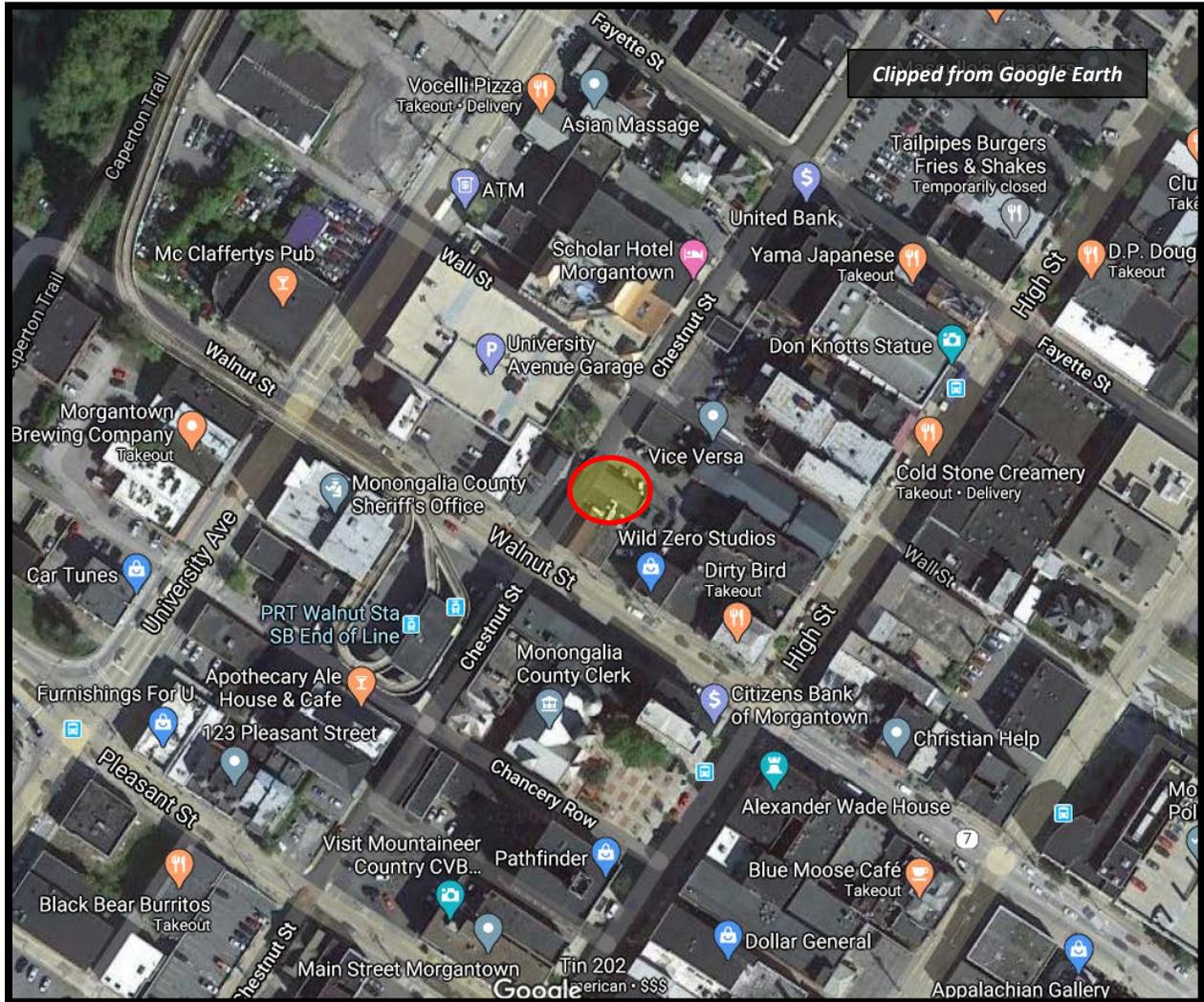
John Whitmore, AICP
 Senior Planner

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 304.284.7431

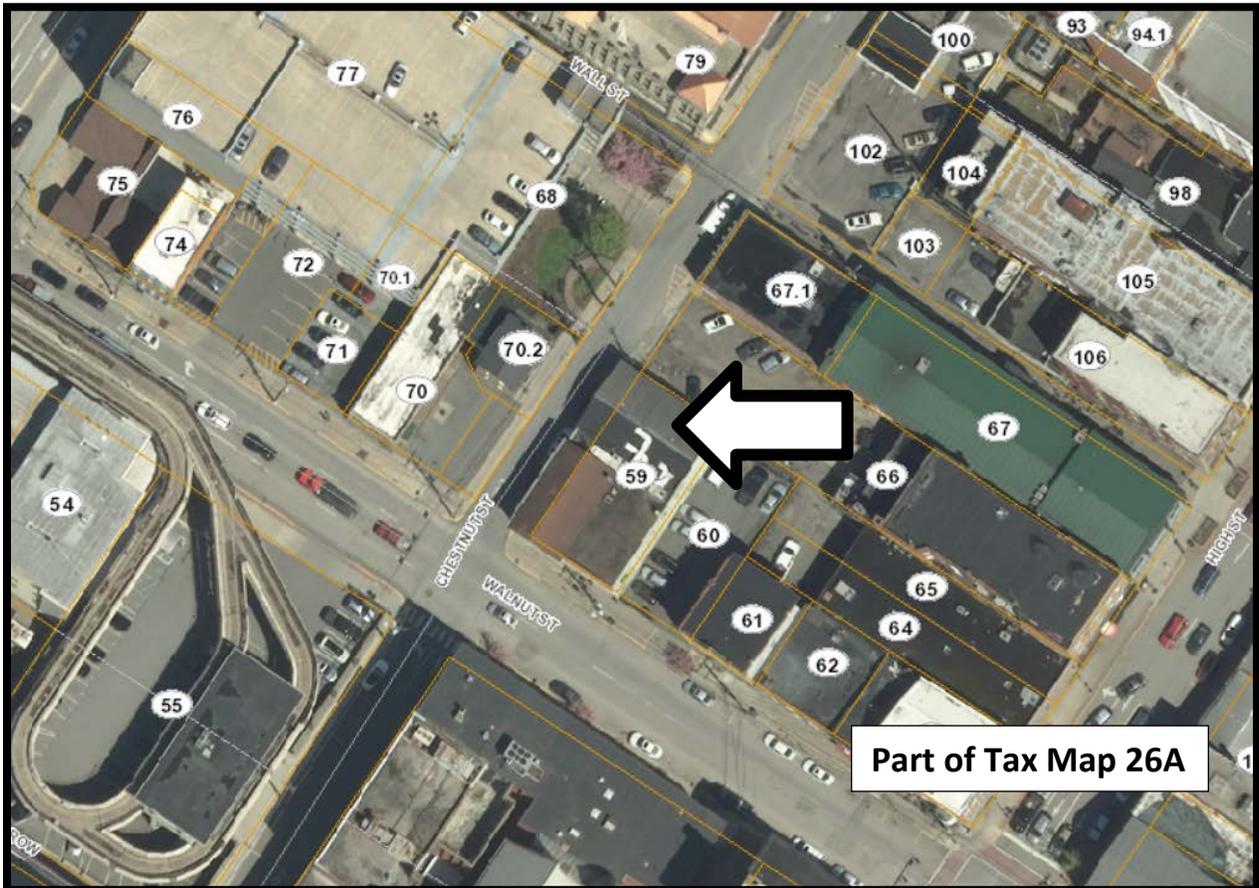
STAFF REPORT ADDENDUM A

V20-13 / Mountain Heights Church / 318 Chestnut Street



STAFF REPORT ADDENDUM A

V20-13 / Mountain Heights Church / 318 Chestnut Street



STAFF REPORT ADDENDUM B

V20-13 / Mountain Heights Church / 318 Chestnut Street

The following responses were provided in consultation with the applicant. For additional information please refer to the staff report.

Finding of Fact No. 1 – The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

The tenant is seeking a signage variance from the maximum sign area standard to enable property wayfinding. The physical size of the sign does not conflict with surrounding signage and is designed to appear similar to traditional wooden sign with permitted materials.

Finding of Fact No. 2 – The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

The tenant is located along the northwestern side of the building along Chestnut Street. The property is oriented to Walnut Street creating a visual challenge for property advertising. The signage will be located along Chestnut Street and will not be readily visible to pedestrians along Walnut Street and will not be visible to motor vehicle traffic on Walnut Street. The proposed signage allows for Chestnut Street wayfinding.

Finding of Fact No. 3 – The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because

The tenant will be able to provide wayfinding opportunity to the general public while maintaining a similar style of signage as is seen in the neighboring properties, particularly the Old Stone House Gift House, the closest neighboring tenant.

Finding of Fact No. 4 – The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

The variance arises from the location of the tenant in a multi-use building in relationship to the pre-existing traffic areas. The Planning and Zoning Code does not provide practical methods to allow for increased wall sign areas in instances where proper advertising /wayfinding cannot be physically or practically achieved.



TEMPORARY SIGN PERMIT APPLICATION

(PLEASE TYPE OR PRINT IN INK)

Fee: \$20.00 [Z-TS]

I. APPLICANT/AGENT		Name: Bryant Noble C/O Mountain Heights Church	
Mailing Address:	318 Chestnut St		Phone: 217-899-2329
	Street Morgantown WV 26505		Mobile:
	City State Zip		Email: bnoble@mountainheightschurch.com
II. PROPERTY		Street Address: 318 Chestnut St	
Owner:	Claudio Corporation		Zoning:
Mailing Address:	151 Walnut St		Tax Map No:
	Street Morgantown WV 26505		Parcel No:
	City State Zip		Phone: 304-376-2544
III. NARRATIVE		Describe the type of temporary sign to be installed.	
<p>The sign is made of high density foam. It contains a logo and the words "Mountain Heights Church Office." It is not lit.</p>			
IV. SIGN DETAILS			
Sign Height in inches:	30	Sign Width in inches:	120
Sign Area in ft ² :	25		
Distance from Building (if applicable):			
Height above Sidewalk (if applicable):	20'		
Sign Material:	High density foam		
Requested Date of Sign Installation:	4/21/20		
Proposed Date of Sign Removal:	Indefinite		

Finance Rev'd



TEMPORARY SIGN PERMIT APPLICATION

V. ADDITIONAL INFORMATION

Temporary sign permits are limited to thirty (30) days or, for a temporary use, for the period of time stated on the temporary use permit. [Art. 1369.07(H)(2)]

No more than three (3) temporary sign permits may be issued within any twelve (12) month period for the same business in the same location and only one (1) sign may be included on each permit [Art. 1369.07(H)(3)]

Except as permitted by a temporary use permit, temporary signs shall be attached to and parallel with a wall of the building on which wall signs are permitted and shall not exceed thirty-two (32) square feet in surface area. [Art. 1369.07(H)(4)]

The following information must be submitted with this application:

- Rendering of the sign showing the sign's dimensions.
- Site Plan drawn to scale, if sign is not affixed to existing building.
- A copy of the applicant's liability insurance naming the City as coinsured.

VI. ATTEST

I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a temporary sign permit does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions.

Bryant Noble

4/18/20

Type/Print Name of Applicant/Agent

Signature of Applicant/Agent

Date

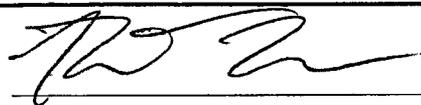


APPLICATION FOR VARIANCE

Ck# 1082

(PLEASE TYPE OR PRINT IN BLACK INK)

Fee: \$150.00 [Z-V]

I. APPLICANT/AGENT		Name: Bryant Noble/Mountain Heights Church	
Mailing Address:	318 Chestnut St.		Phone:
	<small>Street</small>	Morgantown WV 26505	Mobile: 217-899-2329
	<small>City State Zip</small>		Email: bnoble@mountainheightschurch.com
II. PROPERTY		Street Address: 318 Chestnut St	
Owner:	Claudio Enterprises		Zoning: B-4
Mailing Address:	151 Walnut St		Tax Map No: 264
	<small>Street</small>	Morgantown WV 26505	Parcel No: 50
	<small>City State Zip</small>		Phone: 304-376-2544
III. NARRATIVE		Describe the specific use and the standard for which the variance is sought.	
<p>We are seeking signage for the offices of Mountain Heights Church. Our proposal is for a rectangular sign 10 feet wide by 2.5 feet tall with the following language: "Mountain Heights Church Office" including our round logo. The estimated allowable square footage for signage for the given road frontage of the building is 17 square feet. The proposed sign will be 25 square feet.</p>			
IV. ATTEST			
<p>I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a variance does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions. I hereby authorize the Development Services Department to erect a notification sign on the subject property approximately 15 days prior to the BZA hearing. I further agree to maintain said signage and hereby accept responsibility in case of destruction or removal.</p>			
Bryant Noble			2/12/2020
Type/Print Name of Applicant/Agent		Signature of Applicant/Agent	Date

Finance Row
 Kim Mignotta
 2020-0013854
 Z-V
 \$150.00
 City of Morgantown
 For Depository Only