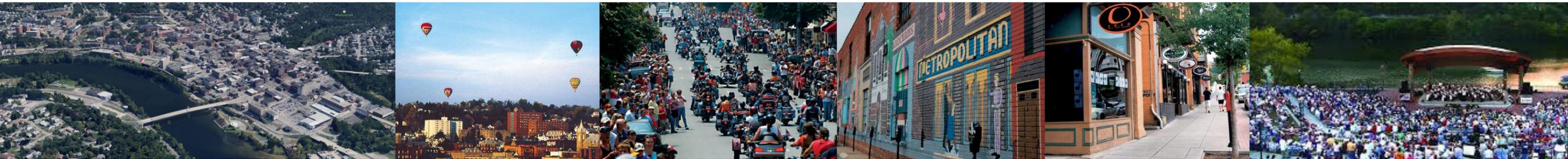


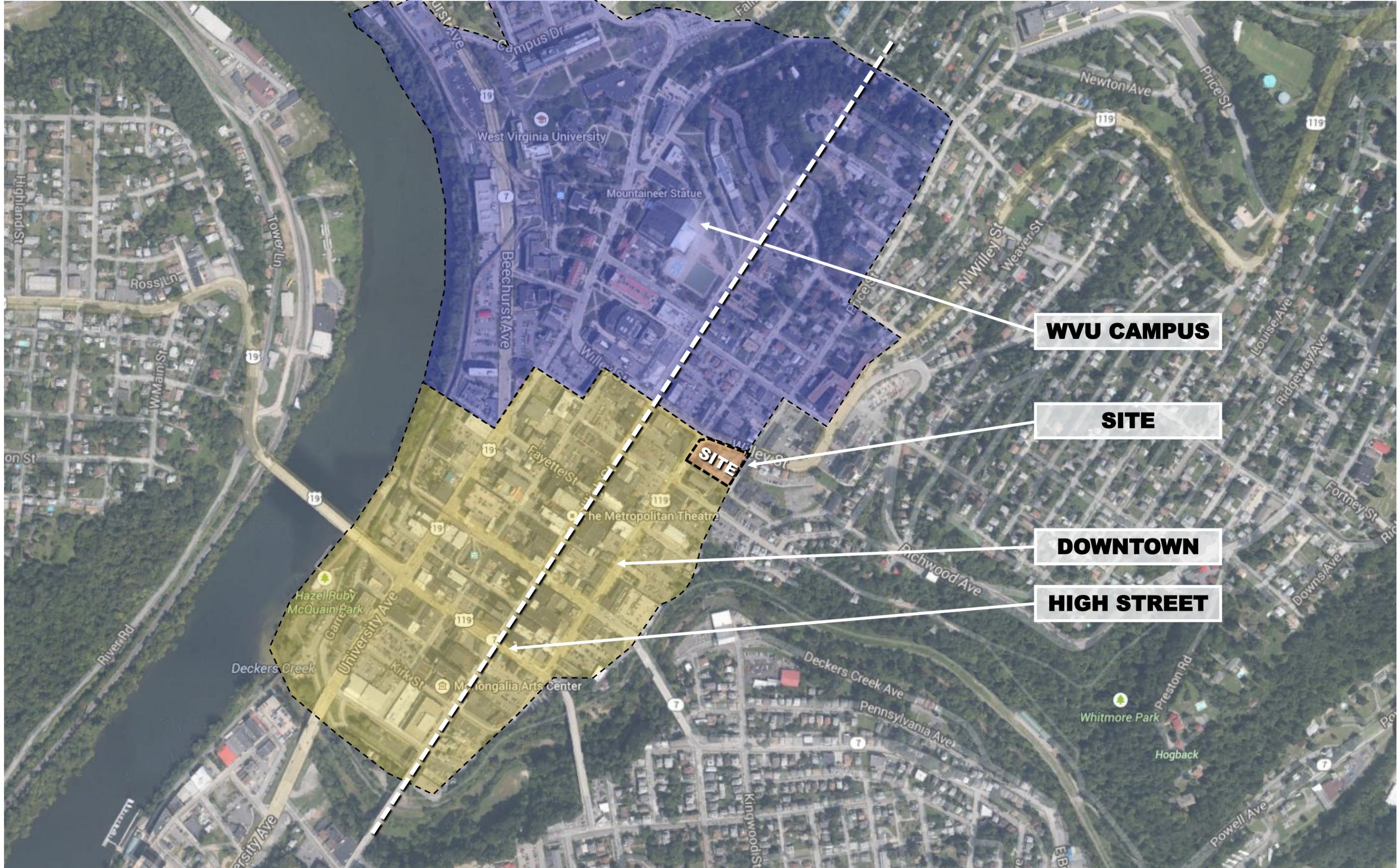
Morgantown Planning Commission Hearing



494 Spruce Street, Morgantown, WV



May 08, 2014



WVU CAMPUS

SITE

DOWNTOWN

HIGH STREET

SITE

ARNOLD HALL & APTS

- 10 Stories
- 4 person, 2 BR Suites
- 1, 2 & 3 Person Dorm Rooms
- 2 & 3 BR Apts

COURTYARD WEST

- 5 Stories
- 2 BR Apts

COURTYARD EAST

- 4 Stories
- 1 & 2 BR Apts

UNITY MANOR

- 10 Stories
- 1 & 2 BR Apts
- Elderly & Disabled

CENTRAL PLACE

- 6 Stories
- 1 & 2 BR Apts



1349.01 PURPOSE.

The purposes of the General Business District (B-4) are to:

- (A) **Promote development of a compact, pedestrian-oriented central business district consisting of** a high-intensity employment center, **vibrant and dynamic mixed-use areas, and residential living environments** that provide a broad range of housing types for an array of housing needs;
- (B) **Promote a diverse mix of residential, business, commercial, office,** institutional, education, and cultural and entertainment activities for workers, visitors, and residents;
- (C) **Encourage pedestrian-oriented development within walking distance of public transit opportunities** at densities and intensities that will help to support transit usage and businesses;
- (D) Promote the health and well-being of residents by encouraging physical activity, alternative transportation, and greater social interaction;
- (E) **Create a place that represents a unique, attractive, and memorable destination** for visitors and residents; and,
- (F) Enhance the community's character and historical significance through the promotion of high-quality urban design.





PUBLIC PARKING & TRANSPORTATION



MORGANTOWN UNITY MANOR



COURTYARD WEST



ARNOLD HALL & APTS



FIRST PRESBYTERIAN CHURCH



EPISCOPAL CHURCH



CAMPUS MINISTRY CENTER

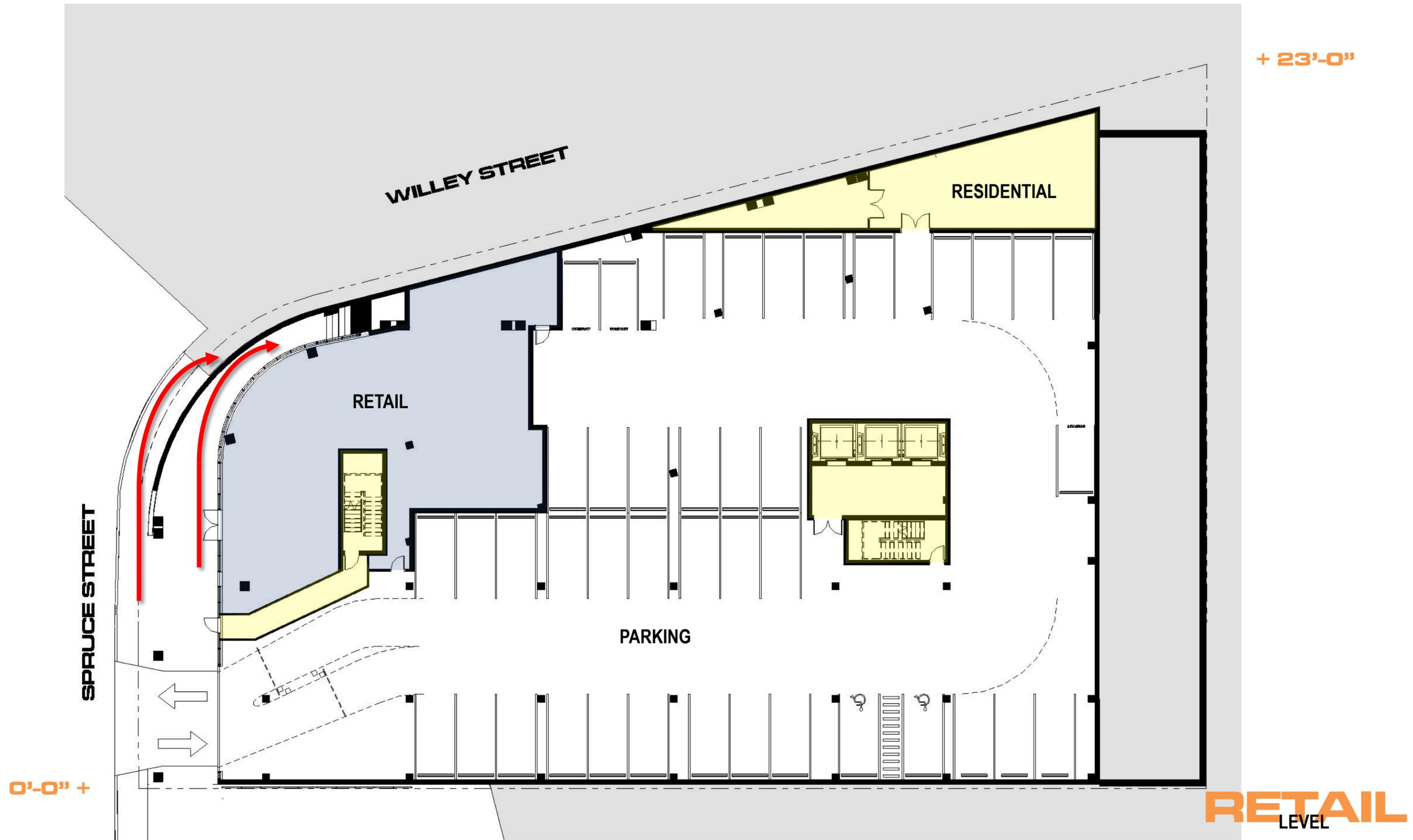
Building Program & Plans

UNIT MIX & GSF SUMMARY

UNIT TYPES								RESIDENTIAL	NONRESI.	PARKING	TOTALS	
Level	4 x 4	4 x 2	3 x 2	2 x 2	1 x 1	Studio	Units / Floor	Beds / Floor				
_Level 09	9	3	0	0	0	0	12	48	_Level 09	18,262 SF		18,262 SF
_Level 08	9	3	0	0	0	0	12	48	_Level 08	18,262 SF		18,262 SF
_Level 07	9	3	0	0	0	0	12	48	_Level 07	18,262 SF		18,262 SF
_Level 06	9	3	0	0	0	0	12	48	_Level 06	18,262 SF		18,262 SF
_Level 05	9	3	0	0	0	0	12	48	_Level 05	18,262 SF		18,262 SF
_Level 04	9	3	0	0	0	0	12	48	_Level 04	18,262 SF		18,262 SF
_Level 03	9	3	0	0	0	0	12	48	_Level 03	18,262 SF		18,262 SF
_Level 02	6	2	0	0	0	0	8	32	_Level 02	16,822 SF		21,842 SF
									_Level 01	2,409 SF	2,197 SF	19,996 SF
									_Level P2	1,960 SF	1,670 SF	21,329 SF
									_Level P1	2,468 SF	3,237 SF	21,618 SF
	69	23	0	0	0	0	92	368		151,496 SF	7,104 SF	49,001 SF
%	75%	25%	0%	0%	0%	0%						
AREA	1,243 SF	1,243 SF							TOTAL GROSS AREA			212,620 SF

PARKING		
Size	Count	Comments
_Level 01		
Parking Space_8'-6"x18'-0"	32	
Parking Space_8'-0"x15'-0"	5	Compact Spaces
_Level P2		
Parking Space_8'-6"x18'-0"	47	
Parking Space_8'-0"x15'-0"	1	Compact Spaces
_Level P1		
Parking Space_8'-6"x18'-0"	38	
Parking Space_8'-0"x15'-0"	3	Compact Spaces
	126	

BICYCLE STORAGE		
Type	Count	Comments
Bike Storage Space Saver Double Sided	64	
Bike Storage Space Saver Wall Mounted	37	
	101	



+ 23'-0"

WILLEY STREET

RESIDENTIAL

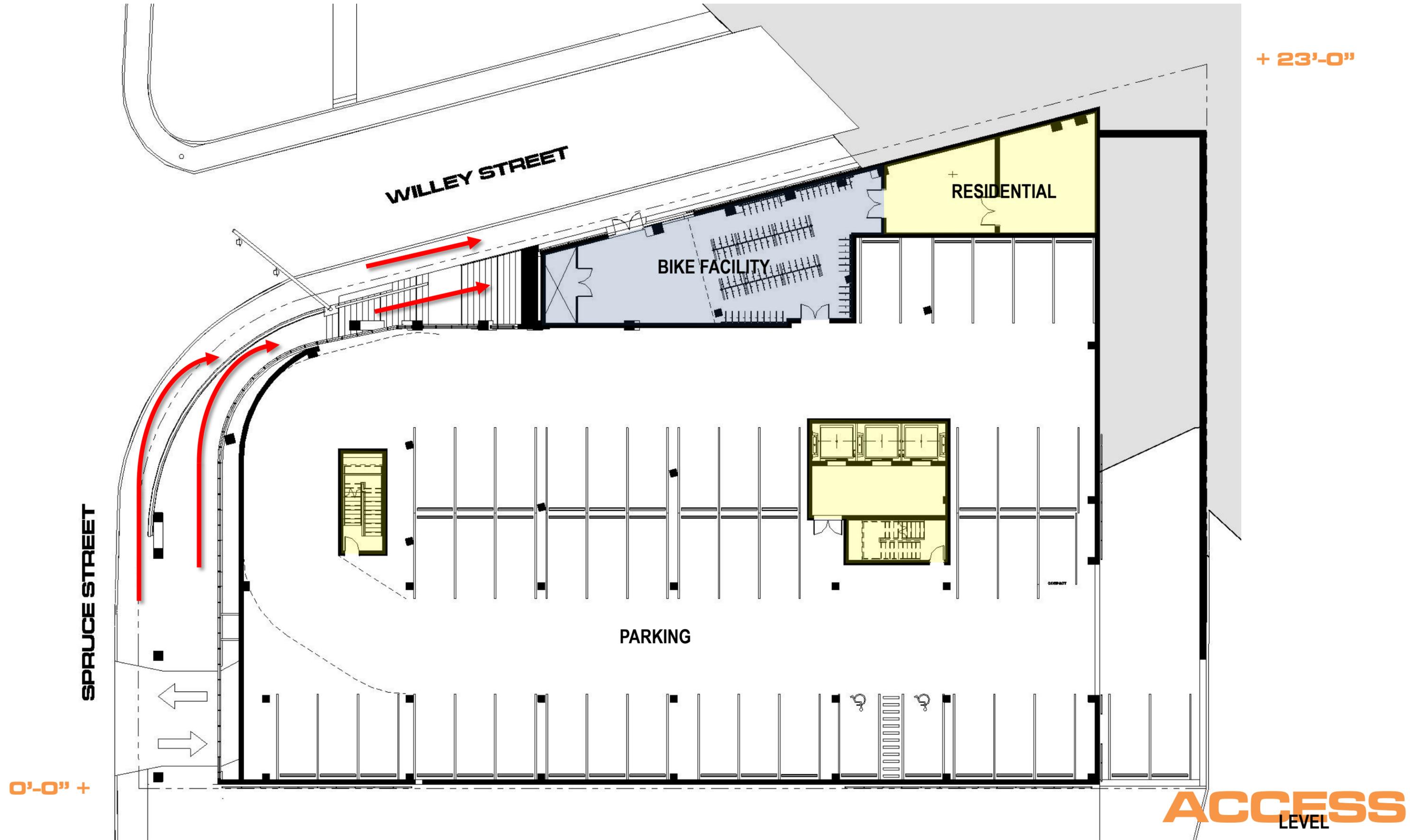
RETAIL

PARKING

SPRUCE STREET

0'-0" +

RETAIL LEVEL



+ 23'-0"

WILLEY STREET

RESIDENTIAL

BIKE FACILITY

PARKING

SPRUCE STREET

0'-0" +

ACCESS LEVEL

0'-0" +

SPRUCE STREET

WILLEY STREET

OUTLINE OF BUILDING ABOVE

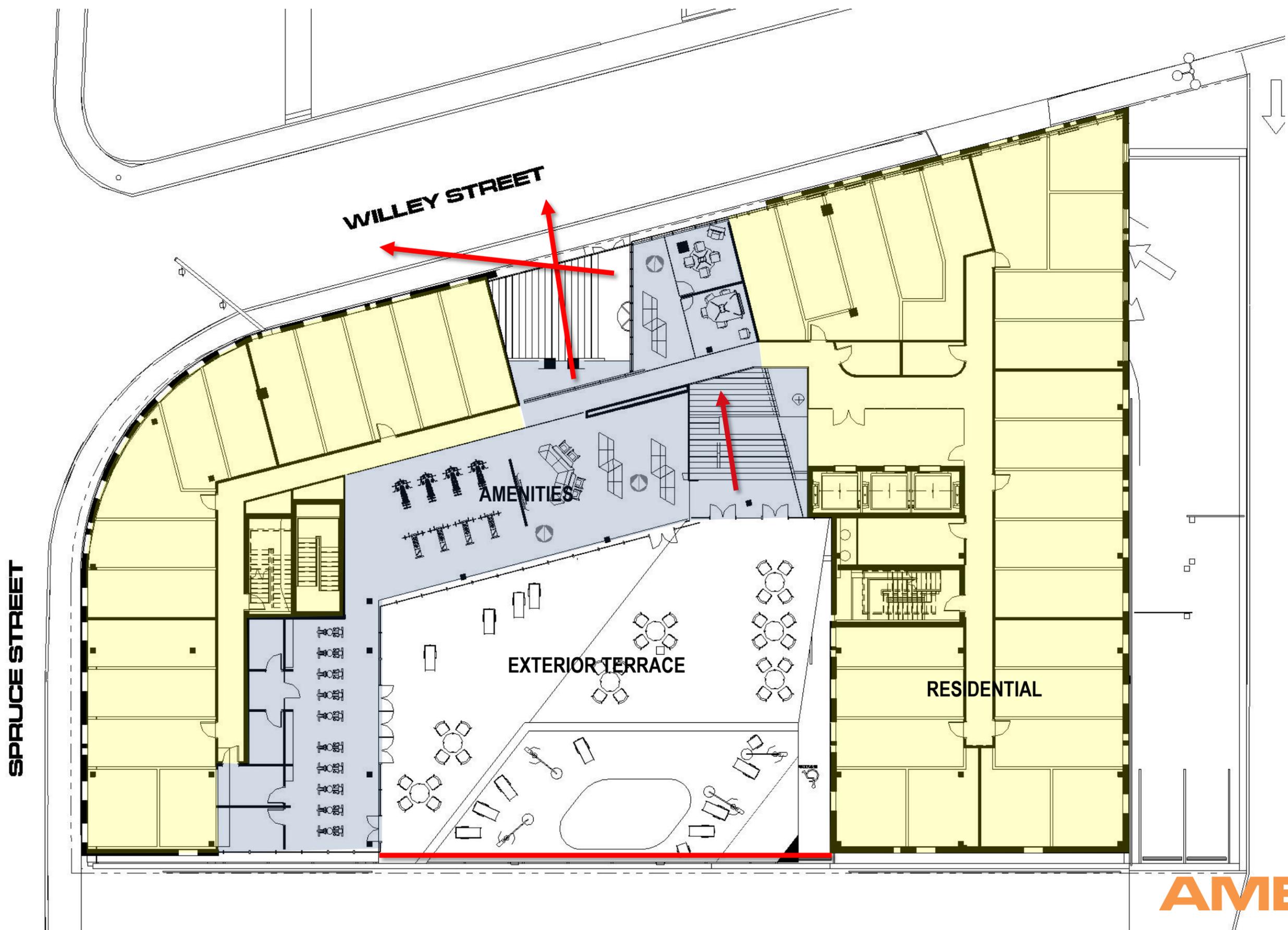
LOBBY & OFFICE

RESIDENTIAL

PARKING

+ 23'-0"

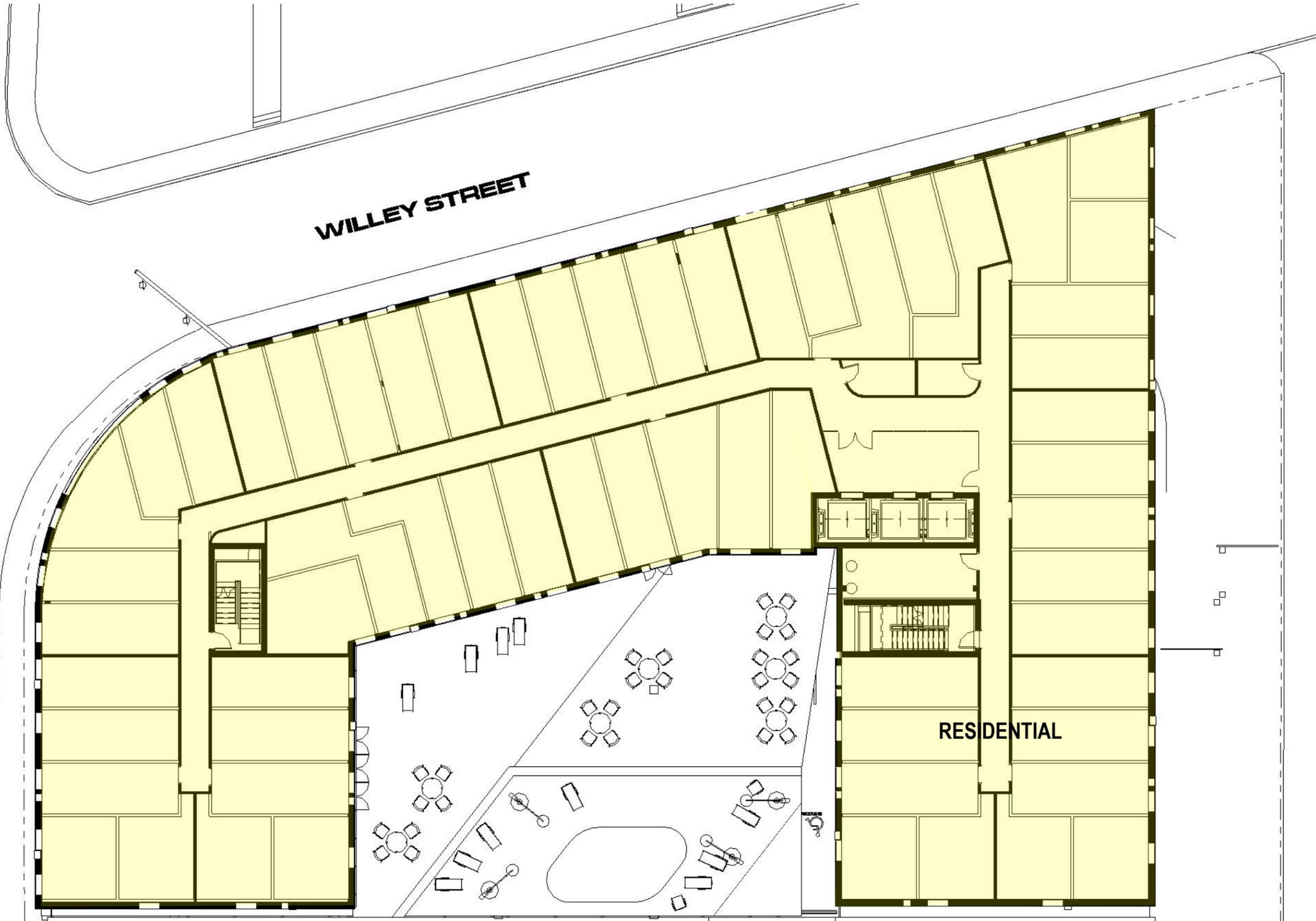
LOBBY
LEVEL



AMENITY
LEVEL

SPRUCE STREET

WILLEY STREET



RESIDENTIAL

3-9
LEVELS



4 Bed 4 Bath

UNIT PLAN

333 SQ FT LIVING RM
DINING RM
KITCHEN

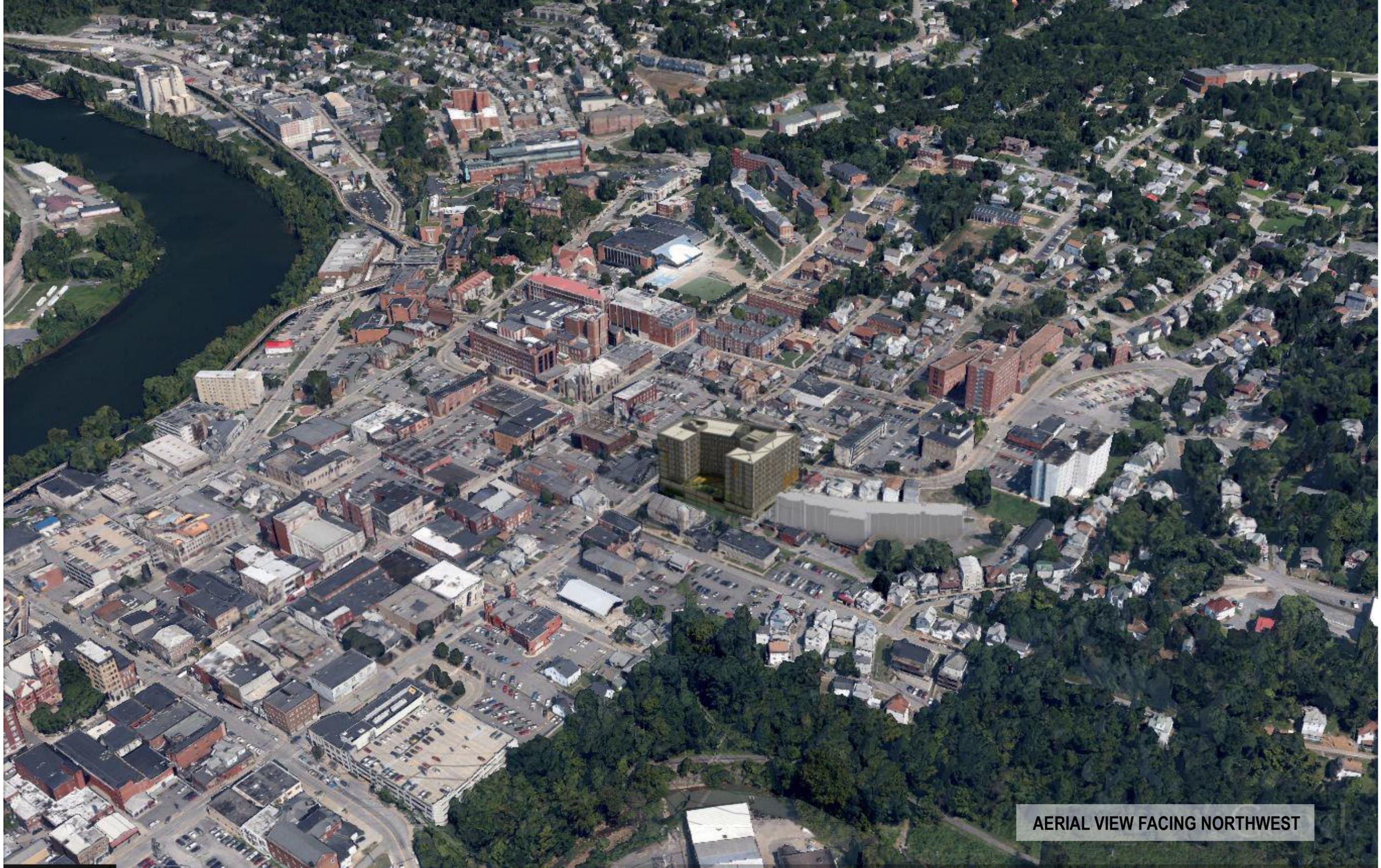
97 SQ FT BR



4 Bed 2 Bath

UNIT PLAN

Building Aerials and Perspectives



AERIAL VIEW FACING NORTHWEST



AERIAL VIEW FACING NORTHEAST



EXISTING CONDITION @ SOUTH FACADE



VIEW LOOKING EAST ON WILLEY STREET



VIEW LOOKING EAST ON WILLEY STREET



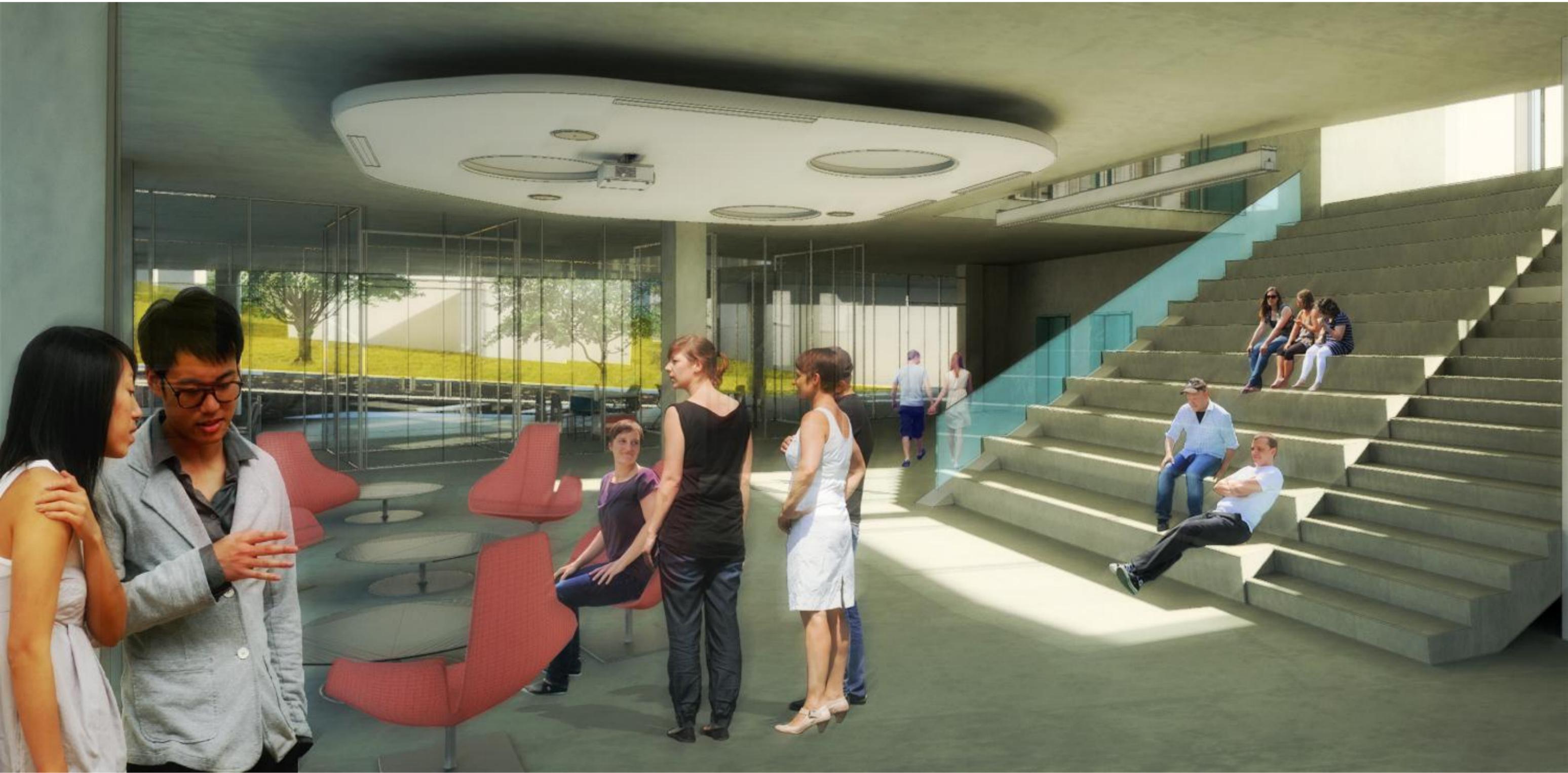
VIEW ON PRICE STREET LOOKING SOUTHWEST



WILLEY STREET MAIN ENTRANCE



WILLEY STREET MAIN ENTRANCE



RESIDENTIAL LOBBY INTERIOR



VIEW OF OUTDOOR TERRACE FROM FITNESS

Sun Studies



8:00am Summer



12:00pm Summer



5:00pm Summer

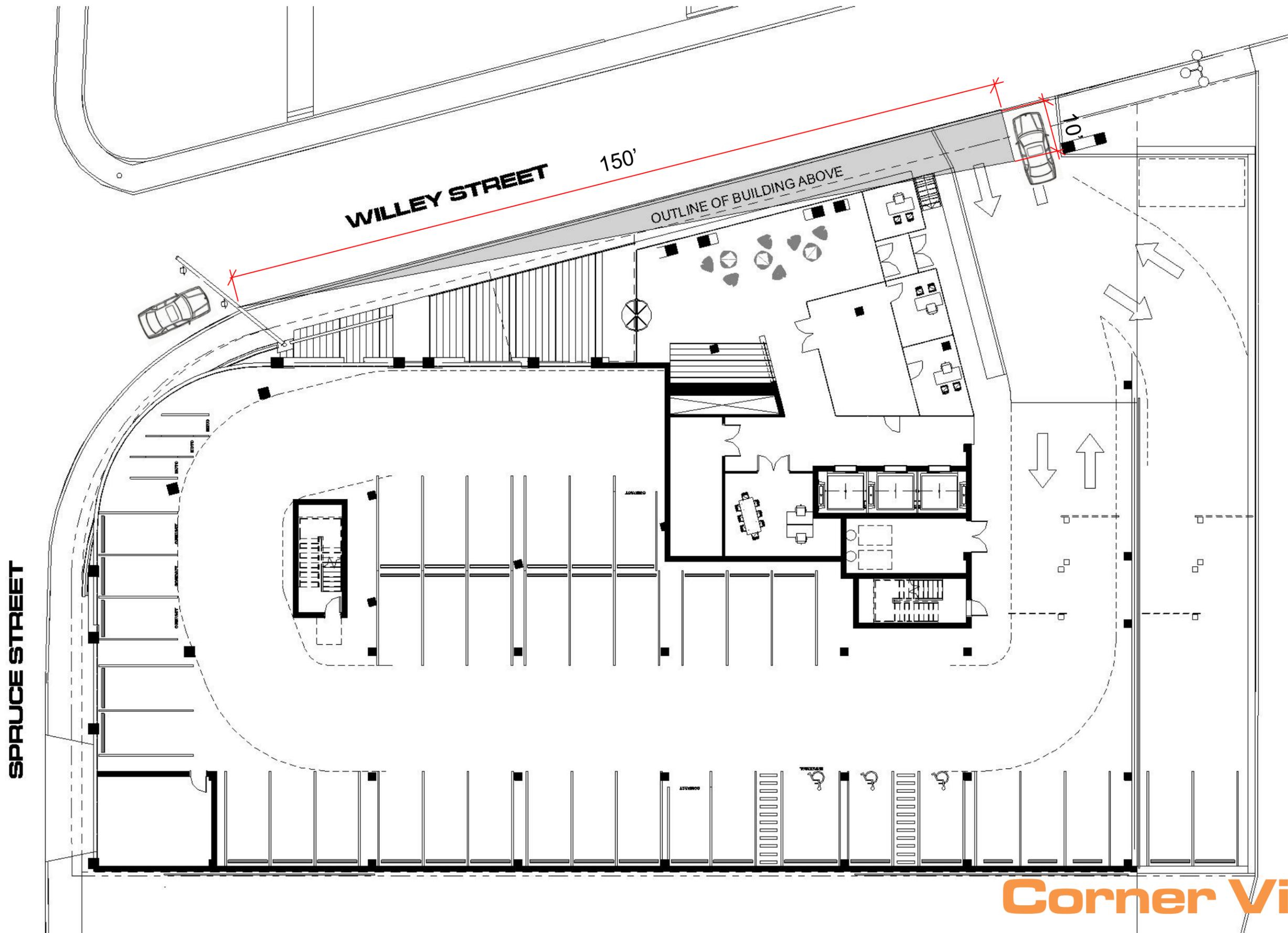


Animated Solar Study

Traffic Study

Site Traffic Percentages

	AM Peak	PM Peak	Daily
Willey Street			
Existing Traffic Volume	581	934	11,522
Site Traffic Volume	33	42	454
Combined Traffic Volume	614	976	11,976
Site Traffic % of Total	5%	4%	4%
Spruce Street			
Existing Traffic Volume	594	923	10,030
Site Traffic Volume	19	24	224
Combined Traffic Volume	613	947	10,254
Site Traffic % of Total	3%	3%	2%



Corner Visibility

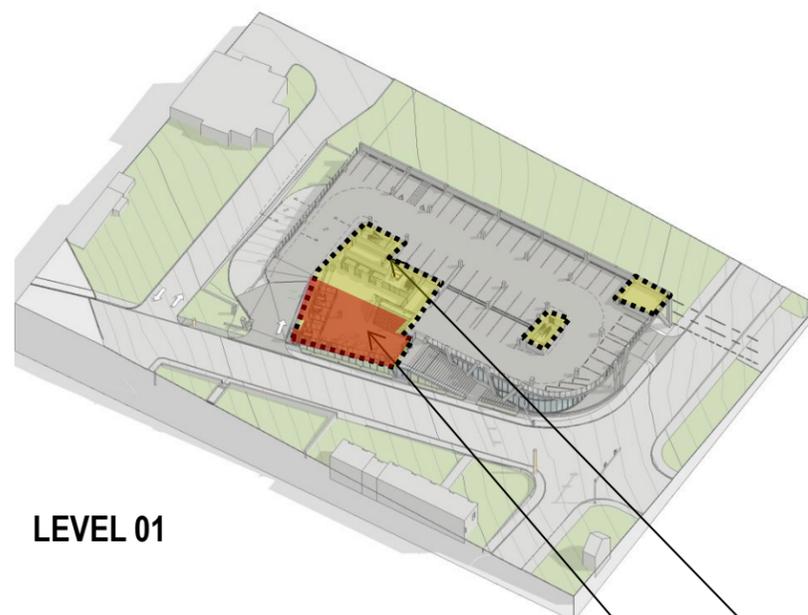


VIEW LOOKING EAST ON WILLEY STREET

emArchitecture

Erdy McHenry Architecture, LLC

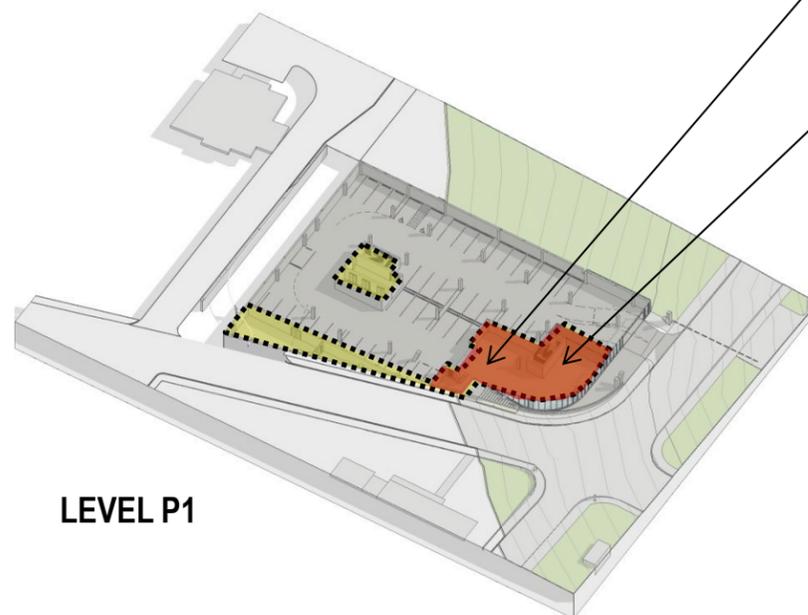
Zoning Requirements for the Building Envelope



LEVEL 01



LEVEL P2



LEVEL P1

RESIDENTIAL		NONRESI.	PARKING	TOTALS
_Level 09	18,262 SF			18,262 SF
_Level 08	18,262 SF			18,262 SF
_Level 07	18,262 SF			18,262 SF
_Level 06	18,262 SF			18,262 SF
_Level 05	18,262 SF			18,262 SF
_Level 04	18,262 SF			18,262 SF
_Level 03	18,262 SF			18,262 SF
_Level 02	16,822 SF			21,842 SF
_Level 01	2,409 SF	2,197 SF	15,389 SF	19,996 SF
_Level P2	1,960 SF	1,670 SF	17,699 SF	21,329 SF
_Level P1	2,468 SF	3,237 SF	15,914 SF	21,618 SF
151,496 SF		7,104 SF	49,001 SF	
TOTAL GROSS AREA				212,620 SF

CONDITIONED GROUND FLOOR SPACE 13,870 SF

NONRESIDENTIAL 7,104 SF

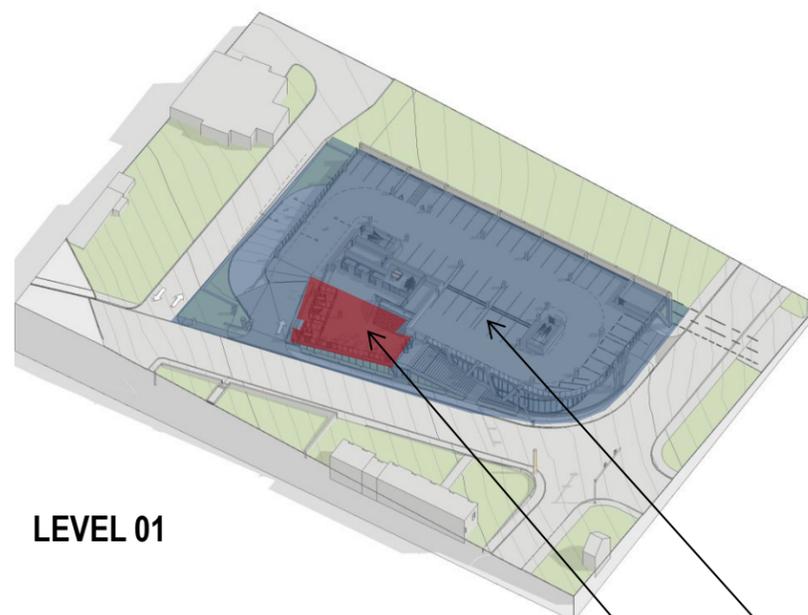
PROPOSED 1331.06 (26) (A)

The commercial or office space shall not be less than 20 percent and not more than 60 percent of the ground floor area.

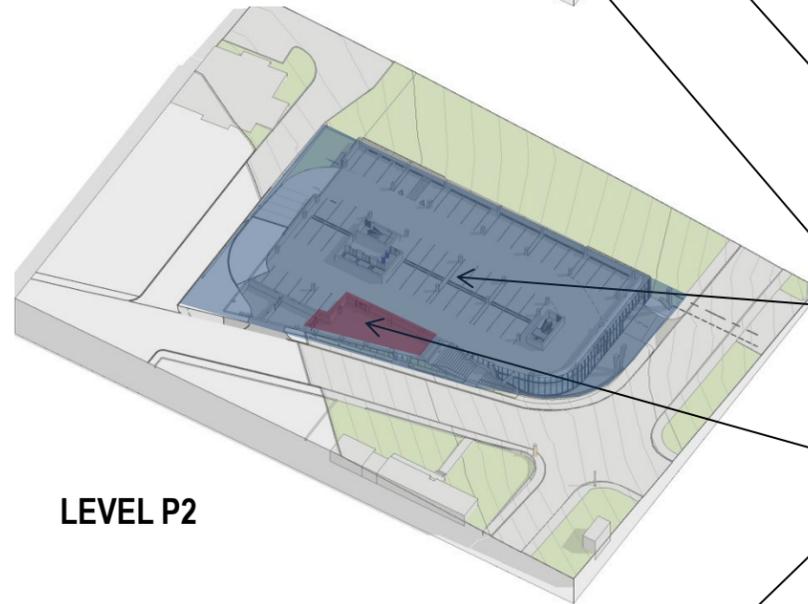
Nonresidential/Commercial/Office Space 7,104 SF

Ground Floor Area 13,870 SF

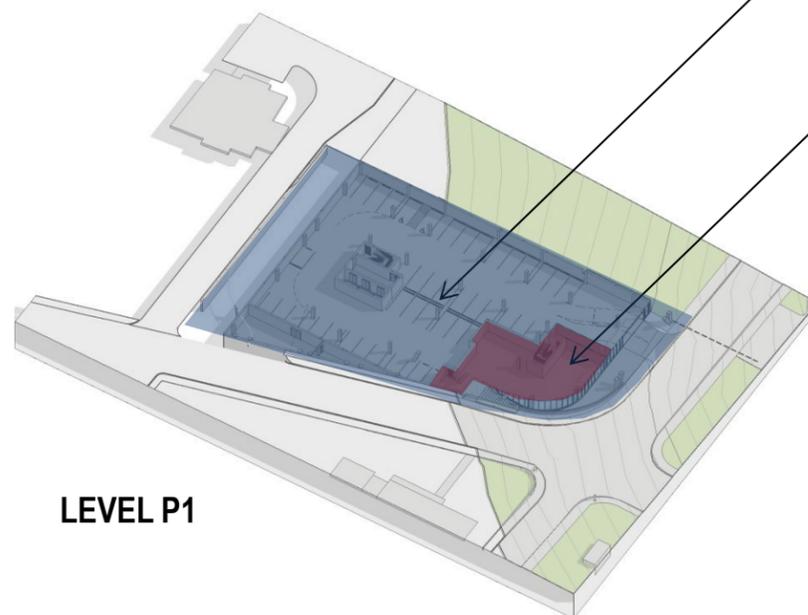
$7,104 / 13,870 = 51\%$ Ground Floor Area



LEVEL 01



LEVEL P2



LEVEL P1

RESIDENTIAL		NONRESI.	PARKING	TOTALS
_Level 09	18,262 SF			18,262 SF
_Level 08	18,262 SF			18,262 SF
_Level 07	18,262 SF			18,262 SF
_Level 06	18,262 SF			18,262 SF
_Level 05	18,262 SF			18,262 SF
_Level 04	18,262 SF			18,262 SF
_Level 03	18,262 SF			18,262 SF
_Level 02	16,822 SF			21,842 SF
_Level 01	2,409 SF	2,197 SF	15,389 SF	19,996 SF
_Level P2	1,960 SF	1,670 SF	17,699 SF	21,329 SF
_Level P1	2,468 SF	3,237 SF	15,914 SF	21,618 SF
151,496 SF		7,104 SF	49,001 SF	
TOTAL GROSS AREA				212,620 SF

LOT AREA 27,459 SF

NONRESIDENTIAL 7,104 SF

PROPOSED
1351.01 (J) (2) (B)
All nonresidential floor space provided on the ground floor of a mixed-use building must contain at least 20 percent of the lot area on lots with 50 feet of street frontage or more.

Nonresidential/Commercial/Office Space 7,104 SF
Lot Area 27,459 SF
 $7,104 / 27,459 = 26\% \text{ Lot Area}$

ALLOWABLE
1349.02

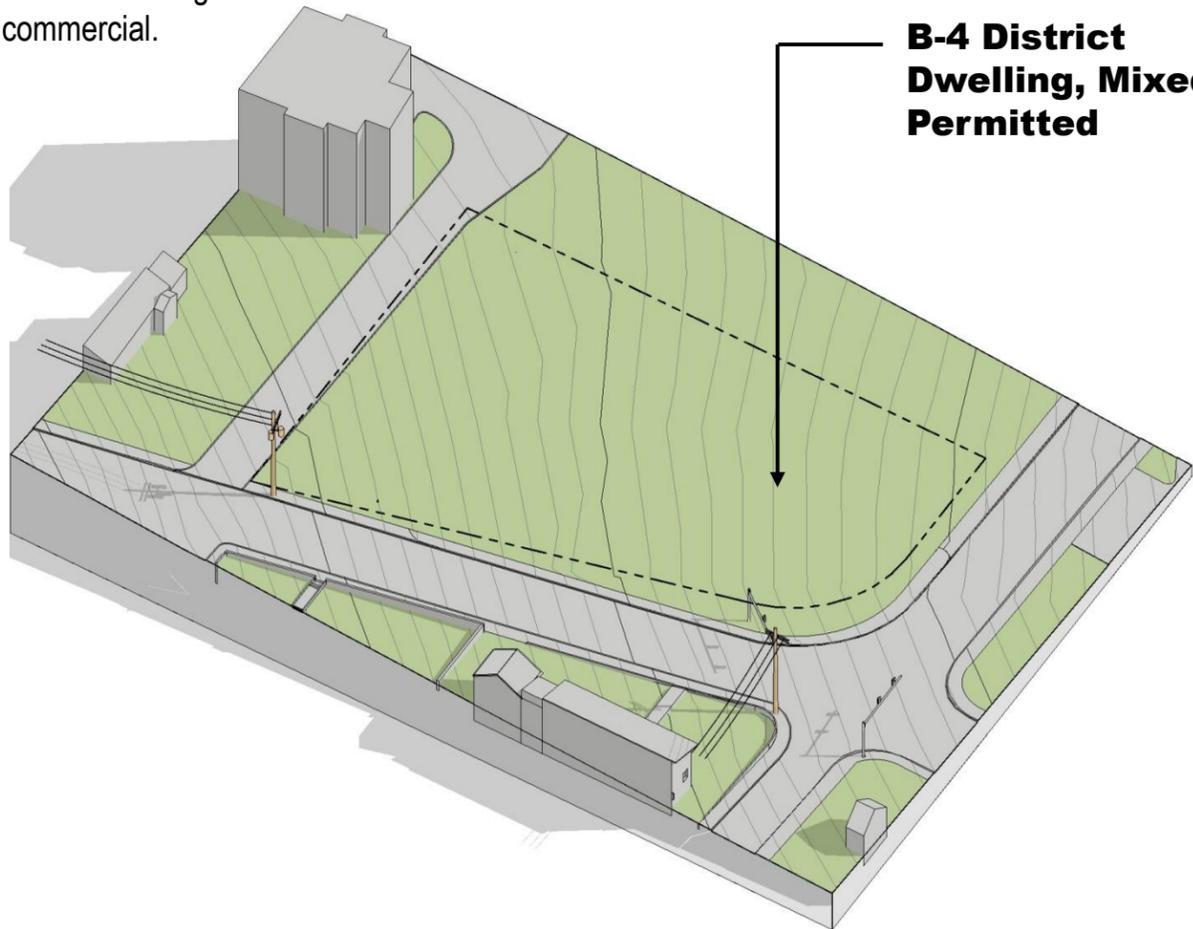
See the Permitted Land Use Table
1331.05.01.

TABLE 1331.05.01

Dwelling, Mixed Use, PERMITTED.

1329.02

DWELLING, MIXED USE – A building containing primarily residential uses with a subordinate amount of commercial and/or office uses on the ground floor in the front of the building facing the primary street frontage. Residential units can be on the ground floor, but cannot be accessed from any portion of the building that faces the primary street. Residential units can be located on the ground floor behind the commercial.



**B-4 District
Dwelling, Mixed Use
Permitted**

PROPOSED

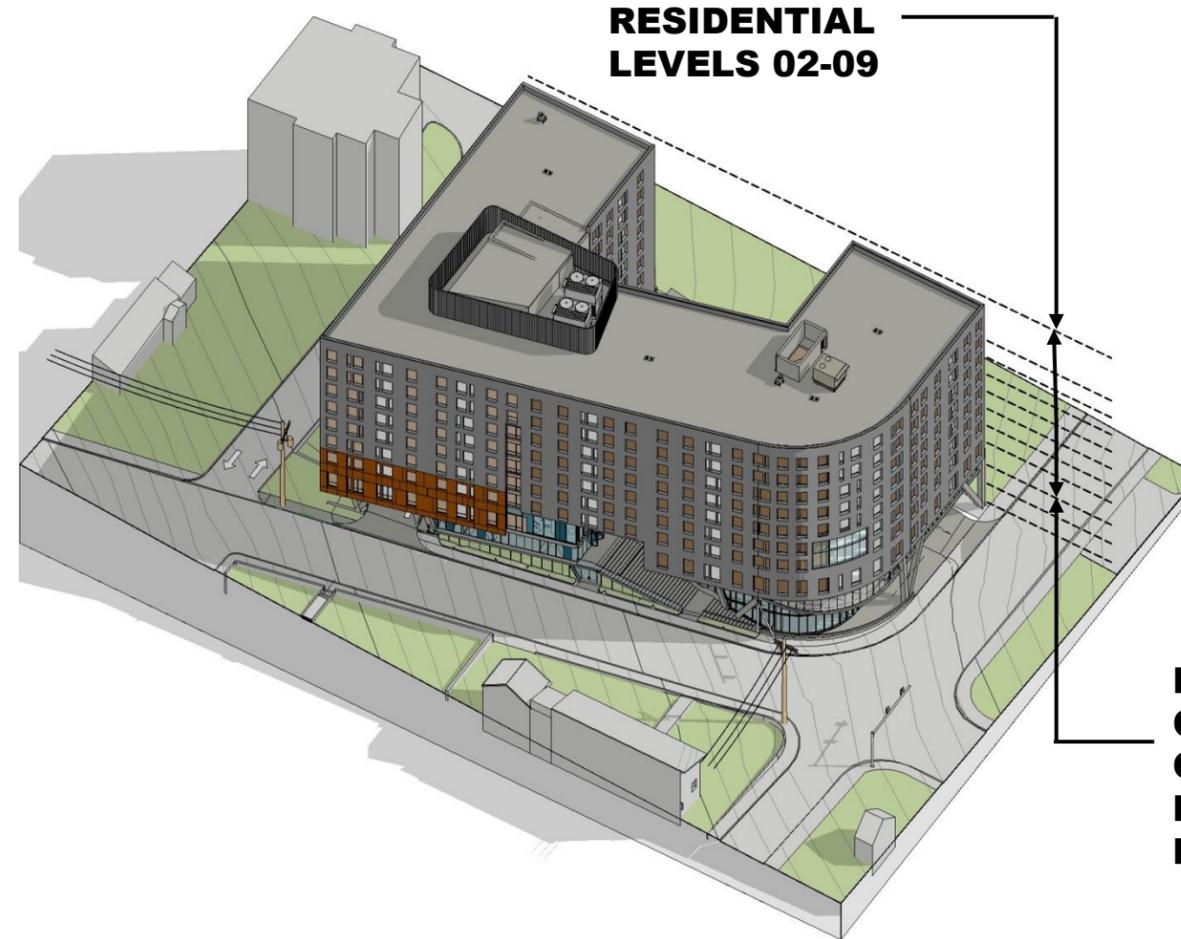
1349.02

See the Permitted Land Use Table
1331.05.01.

TABLE 1331.05.01

Dwelling, Mixed Use, PERMITTED.

1349.02
PERMITTED AND CONDITIONAL USES



**RESIDENTIAL
LEVELS 02-09**

**NONRESIDENTIAL /
COMMERCIAL /
OFFICE SPACE AND
PARKING
LEVELS P1, P2, 01**

ALLOWABLE

1349.03 (A)

The minimum lot size shall be 1,500 square feet.

1349.03 (B)

The minimum lot frontage shall be 30 feet.

1349.03 (C)

The minimum lot depth shall be 50 feet.

1349.03 (D)

Maximum lot coverage shall not exceed ninety (90) percent.

PROPOSED

1349.03 (A)

Lot size is 27,459 square feet.

1349.03 (B)

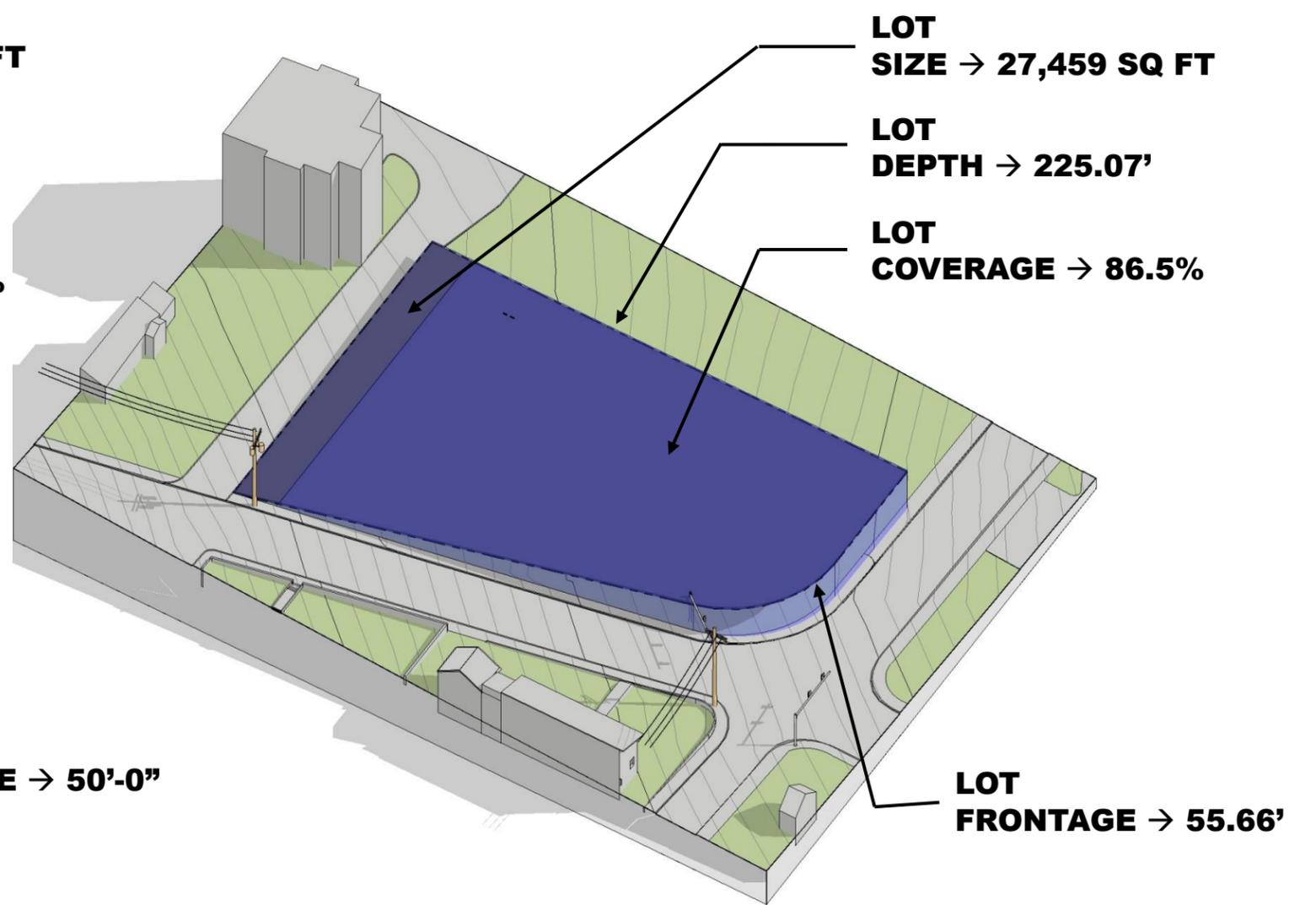
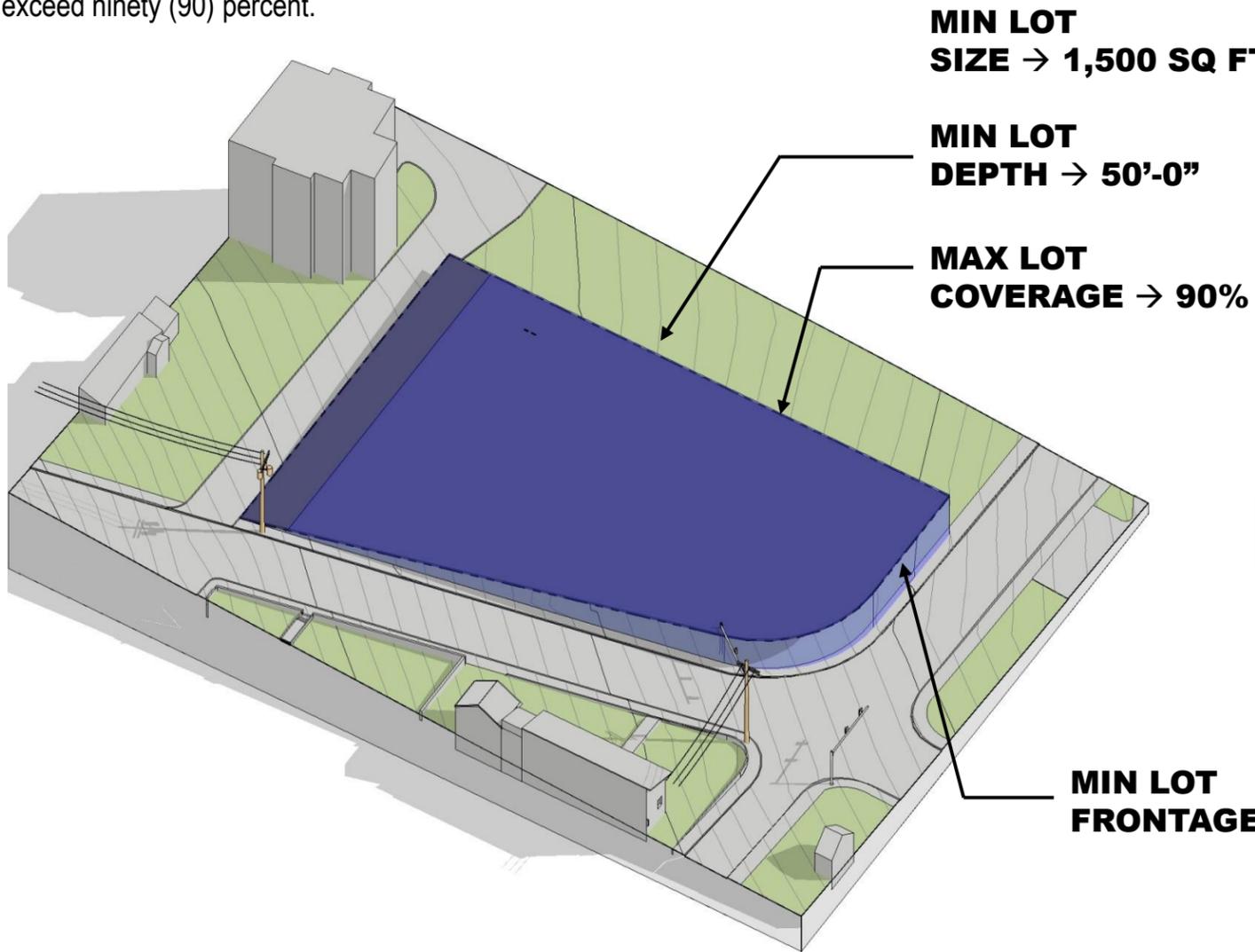
Lot frontage is 55.66 feet.

1349.03 (C)

Lot depth is 225.07 feet.

1349.03 (D)

Lot coverage is eighty six and five tenths (86.5) percent.
Building footprint is 23,763 square feet.



ALLOWABLE

1349.04 (A)(1)

No minimum front or street side building setback is required.

1349.04 (A) (2)

The maximum front and street side building setback may not exceed the average front yard depth of the nearest two (2) lots on either side of the subject lot or 10 feet, whichever is less.

1349.04 (A)(3)

The following exceptions to the maximum front and street side building setbacks apply:

1349.04 (A)(4)

Minimum Side setback: Zero (0) feet and Zero (0) inches. For floors above Level 01, the building is configure for code compliant light and air distribution.

1349.04 (A)(5)

Minimum Rear setback: Twenty Two (22) feet Six (6) inches.

1349.04 (B)

An accessory structure is not proposed.

PROPOSED

1349.04 (A)(1)

Minimum front or street side building setback: Zero (0) feet and Zero (0) inches.

1349.04 (A) (2)

The maximum front and street side building setback: Zero (0) feet and Zero (0) inches.

1349.04 (A)(3)

Exceptions to the maximum front and street side building setbacks are not proposed.

1349.04 (A)(4)

Minimum Side setback: Zero (0) feet and Zero (0) inches. For floors above Level 01, the building is configure for code compliant light and air distribution.

1349.04 (A)(4)

Minimum Side setback: Zero (0) feet and Zero (0) inches. For floors above Level 01, the building is configure for code compliant light and air distribution.

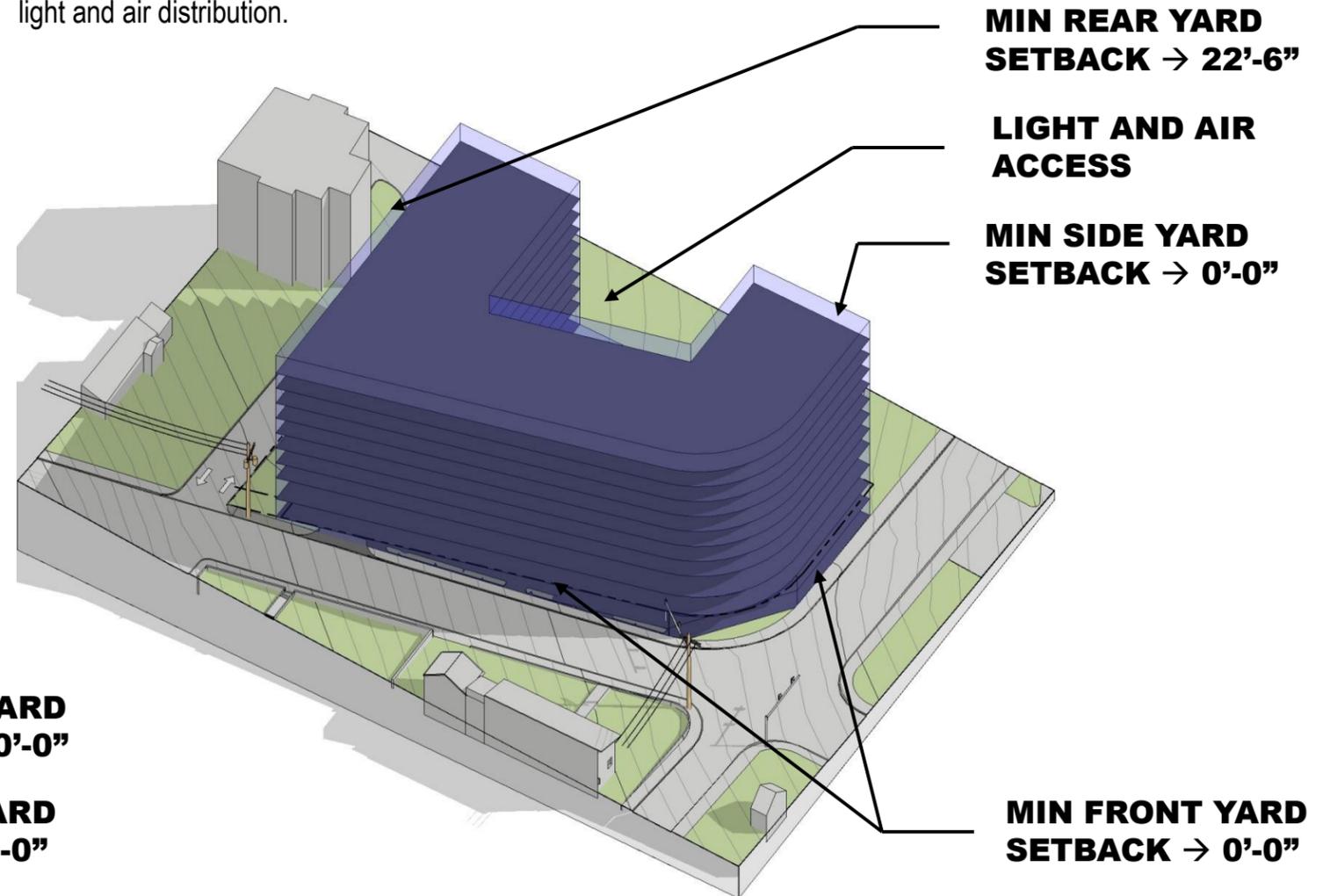
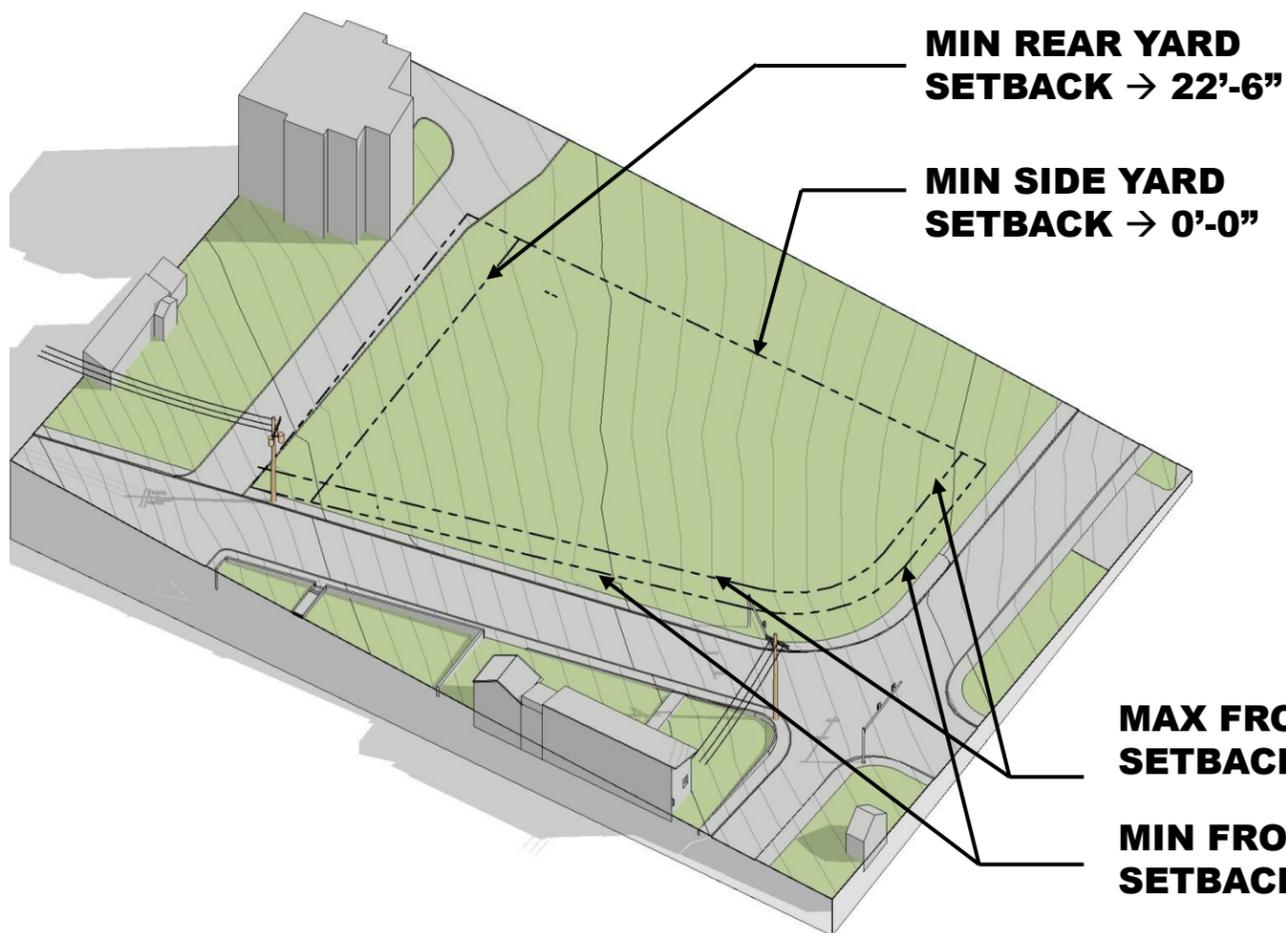
1349.04 (A)(5)

Minimum Rear setback: Twenty Two (22) feet Six (6) inches.

1349.04 (B)

An accessory structure is not proposed.

1349.04 SETBACKS AND ENCROACHMENTS



ALLOWABLE

1349.05 (A)

The minimum height of a principal structure shall be two (2) stories..

1349.05 (B)

The maximum height of a principal structure shall not exceed 120 feet.

1349.05 (C)

The maximum height of an accessory structure shall not exceed 35'.

PROPOSED

1349.05 (A)

Three (3) Stories of nonresidential/ commercial/ office space & parking.
Eight (8) Stories of residential space.

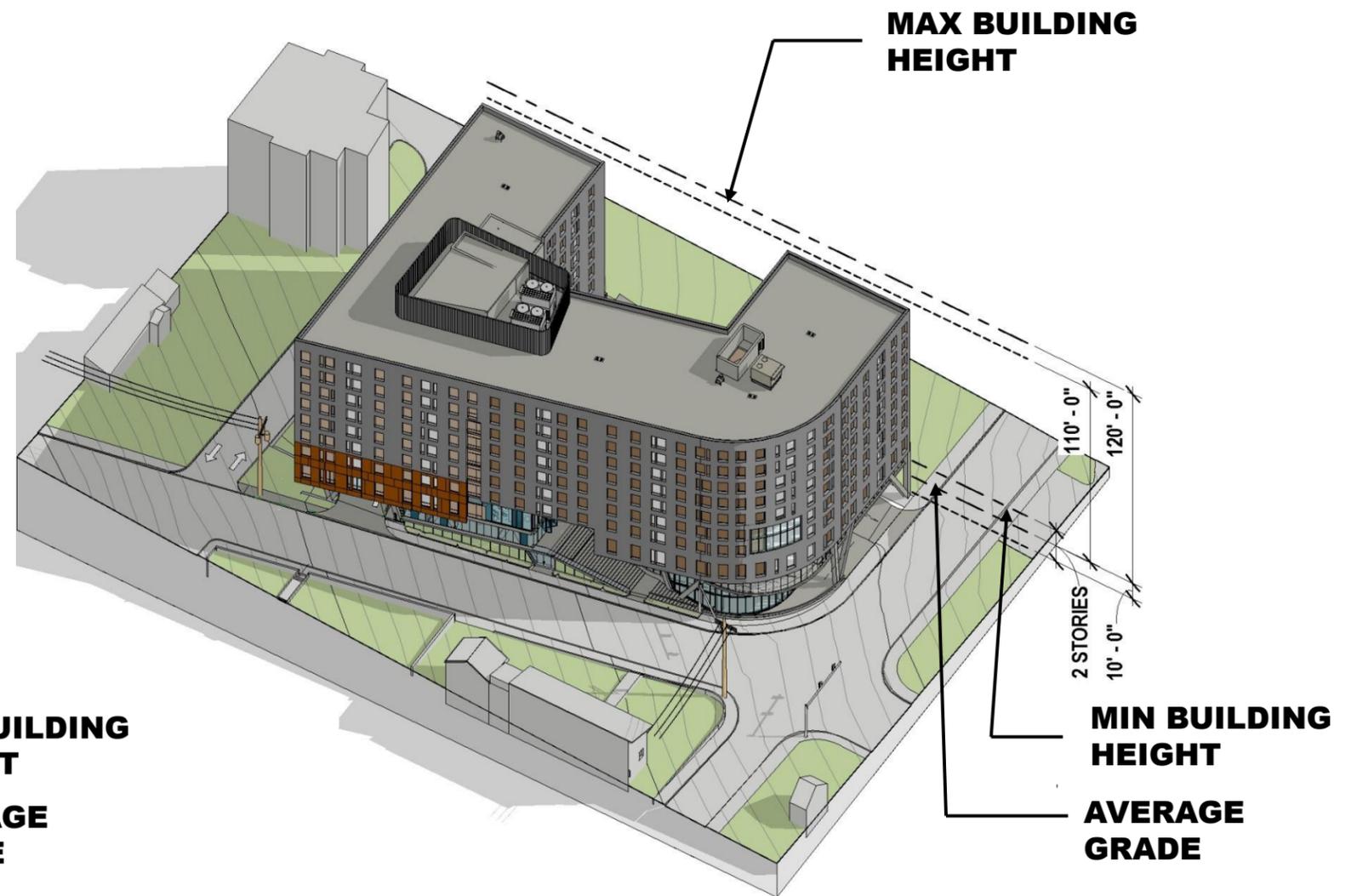
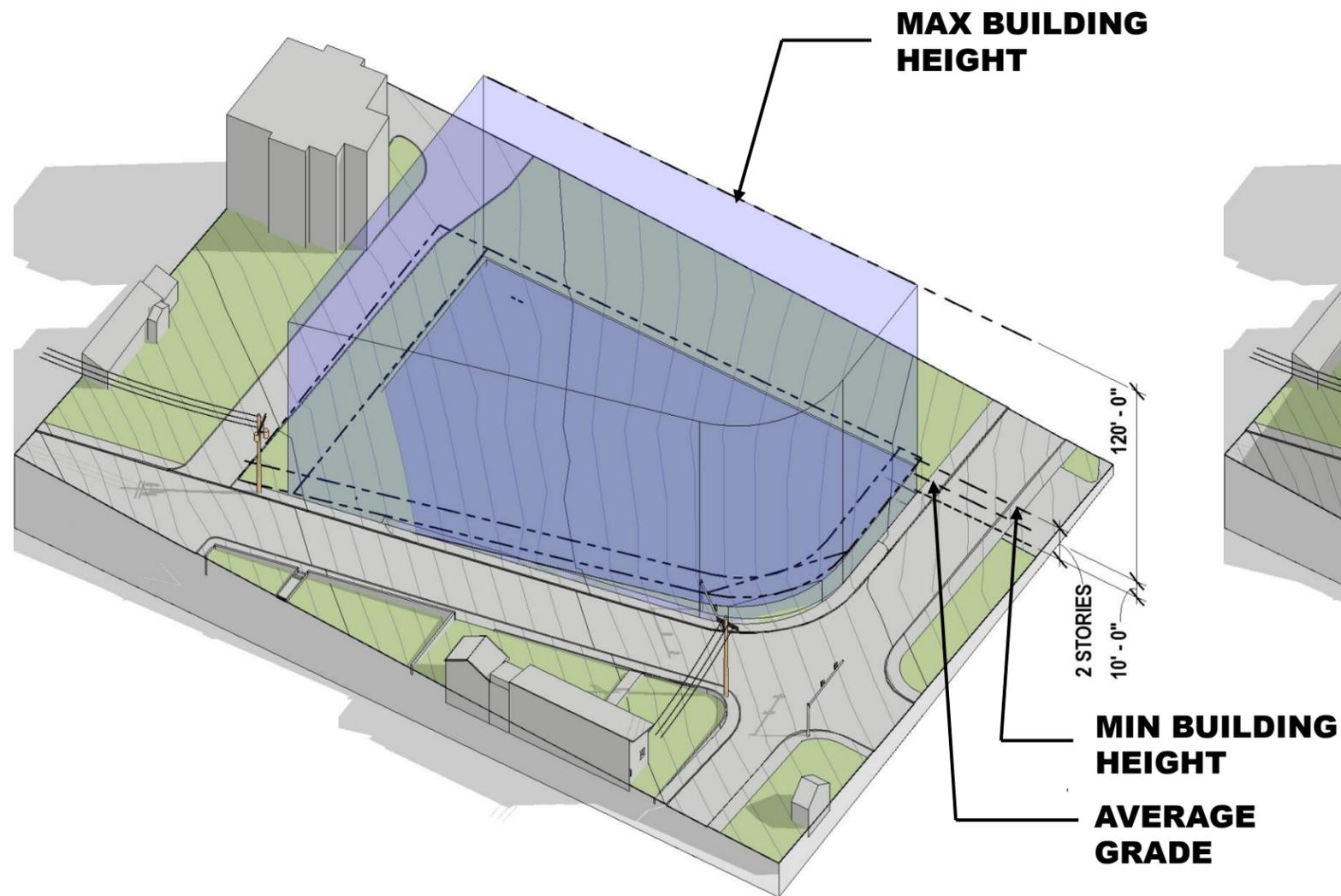
1349.05 (B)

The building height of the principal structure is 109 feet 9 inches.

1349.05 (C)

An accessory structure is not proposed.

1349.05
BUILDING HEIGHT



ALLOWABLE

1349.06 (A)

The maximum FAR for all development in this district is 7.0.

Maximum Floor Area = 192,213 SF
(Excluding Parking)

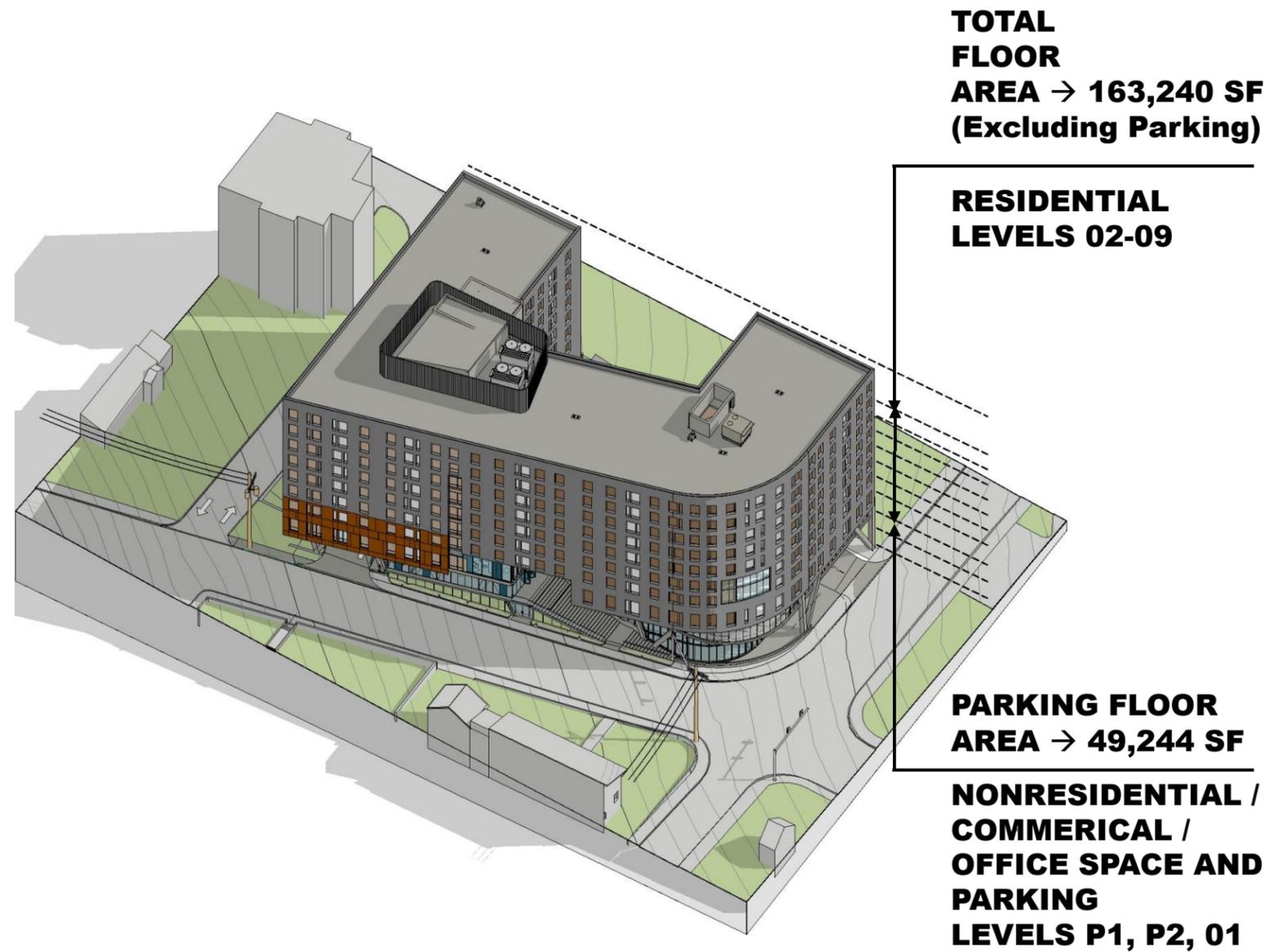
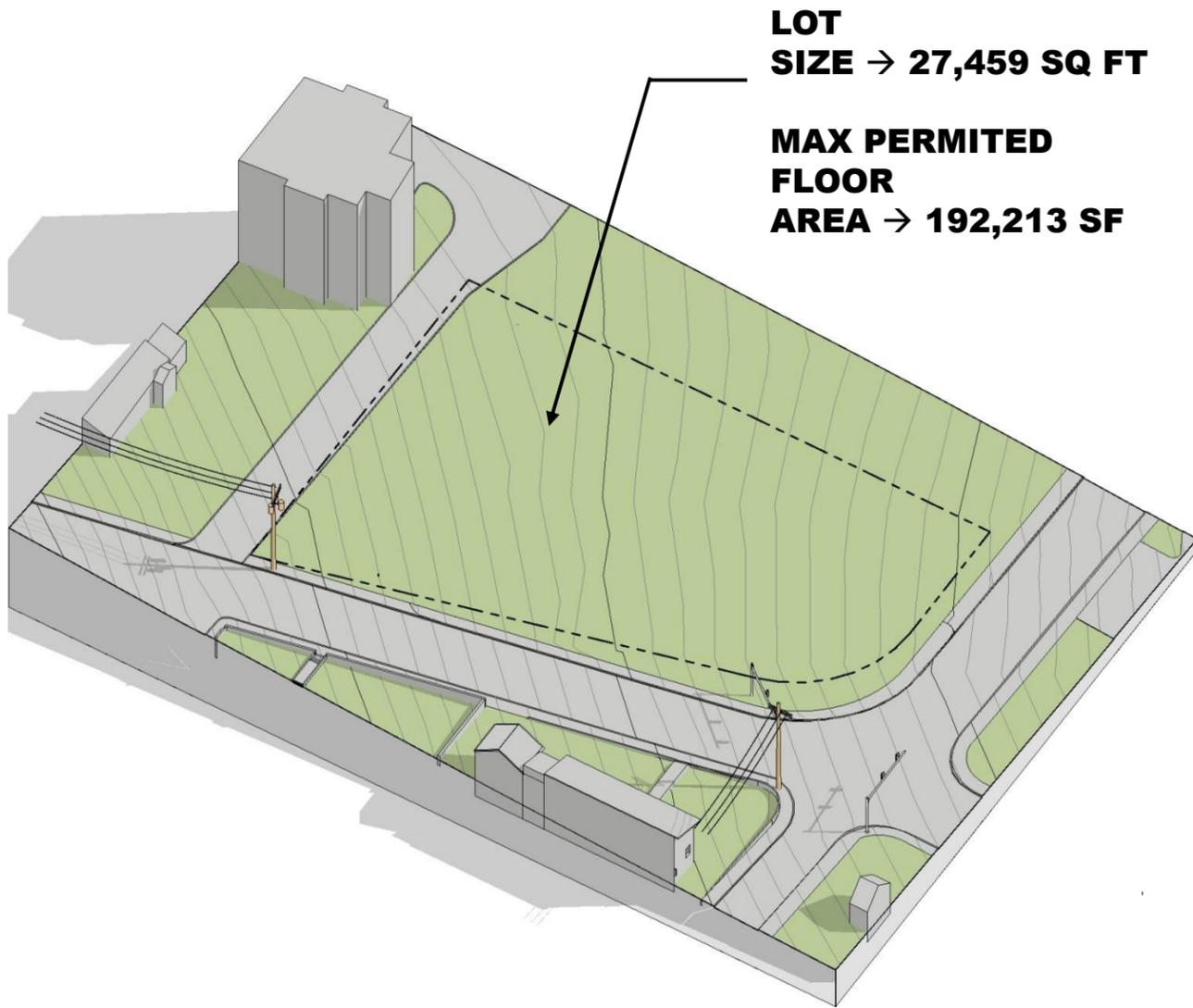
PROPOSED

1349.06 (A)

The maximum FAR for all development in this district is 7.0.

Floor Area = 163,240 SF
(Excluding Parking)

1349.06
FLOOR AREA RATIO (FAR)



ALLOWABLE
1349.07

The minimum lot area per dwelling unit in this district is 300 square feet.

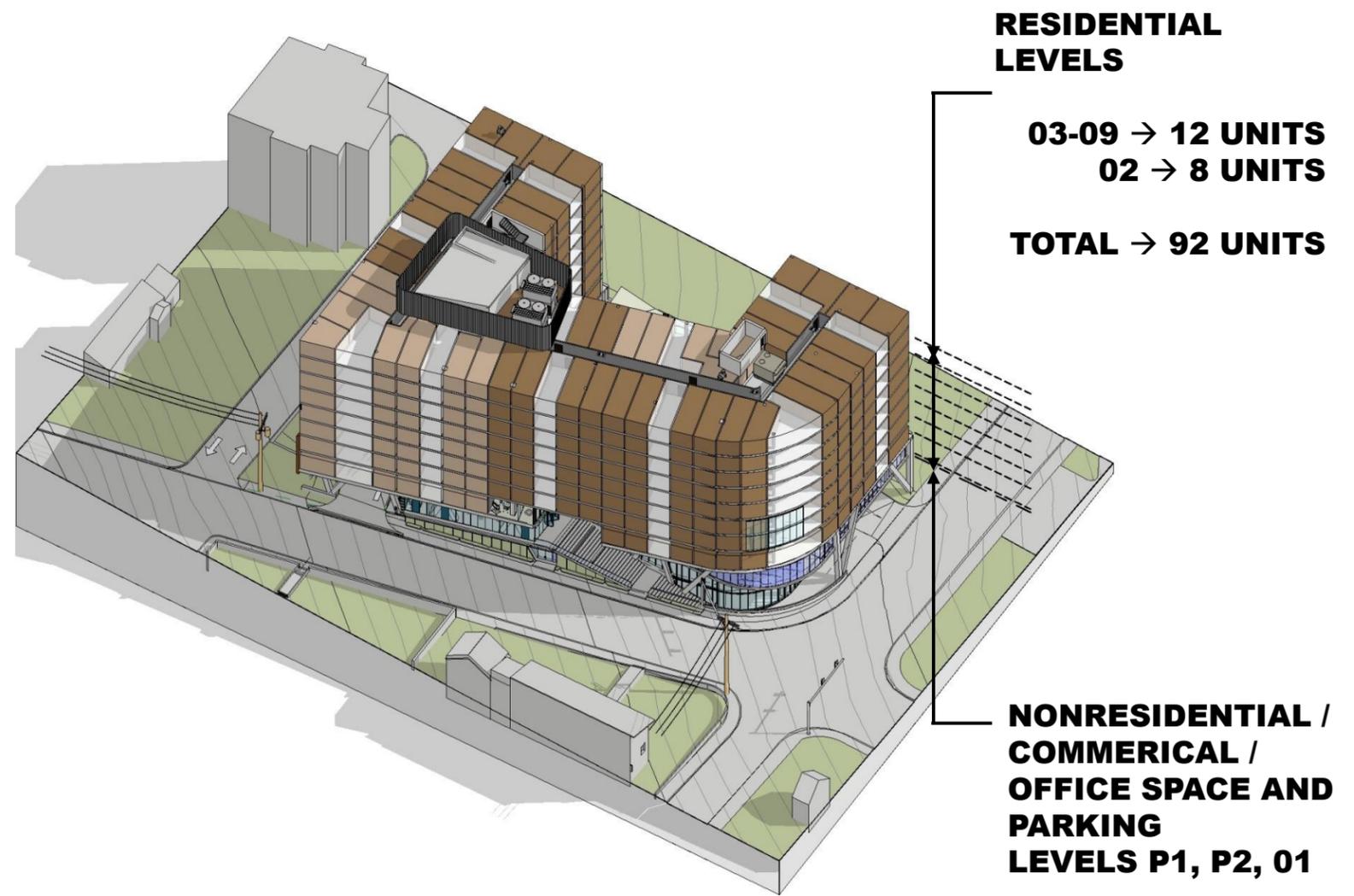
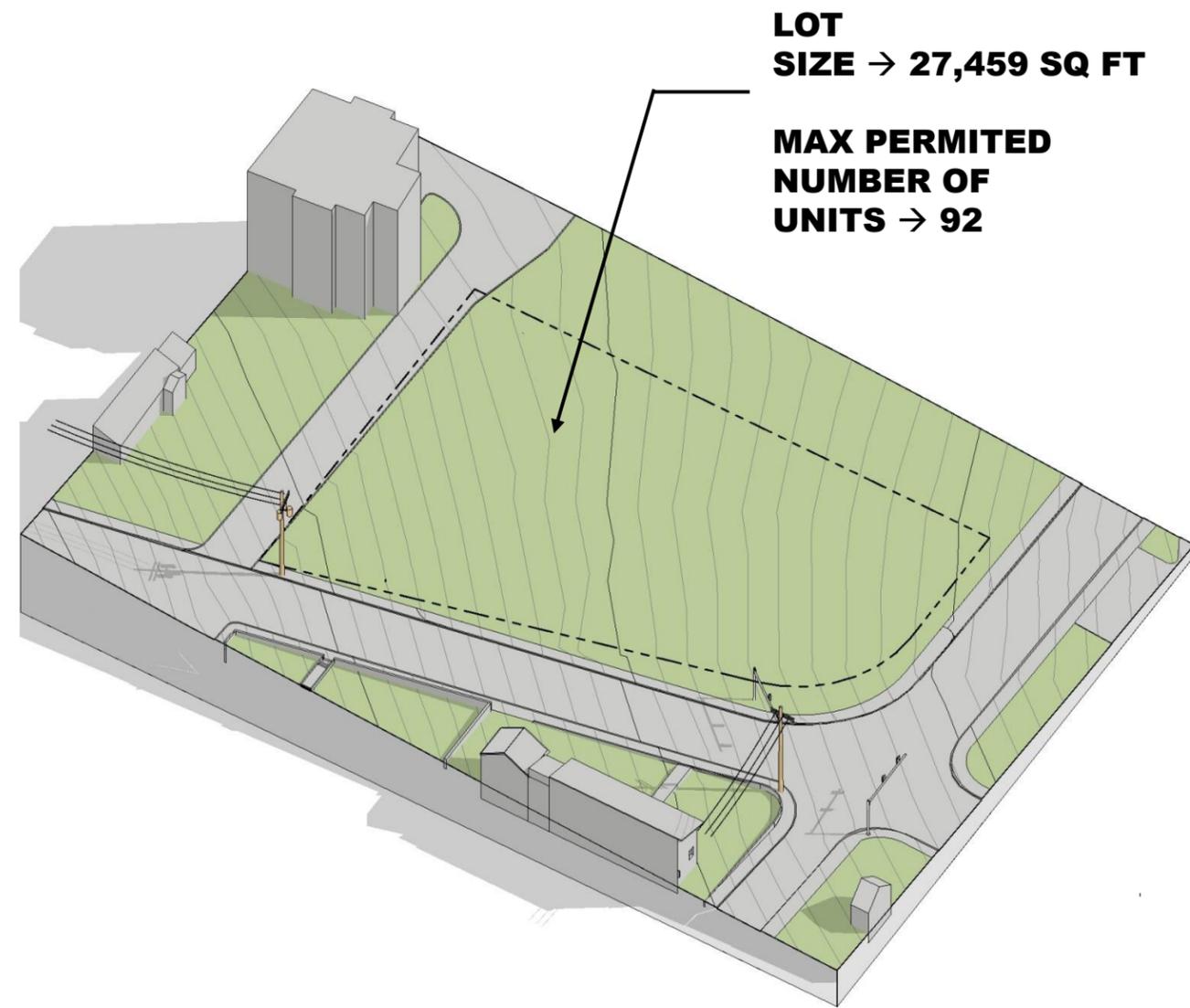
Maximum Number of Units = 92

PROPOSED
1349.07

The minimum lot area per dwelling unit in this district is 300 square feet.

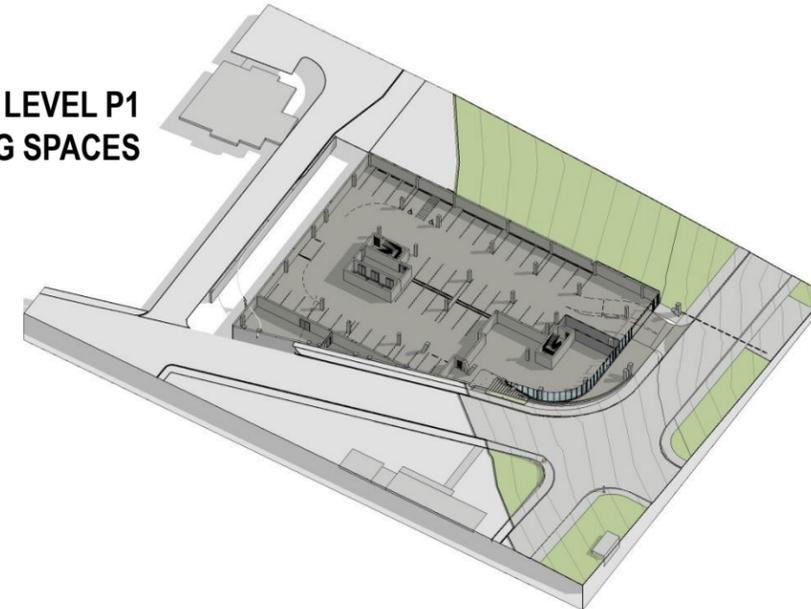
Maximum Number of Units = 92

1349.07
MAXIMUM RESIDENTIAL DENSITY

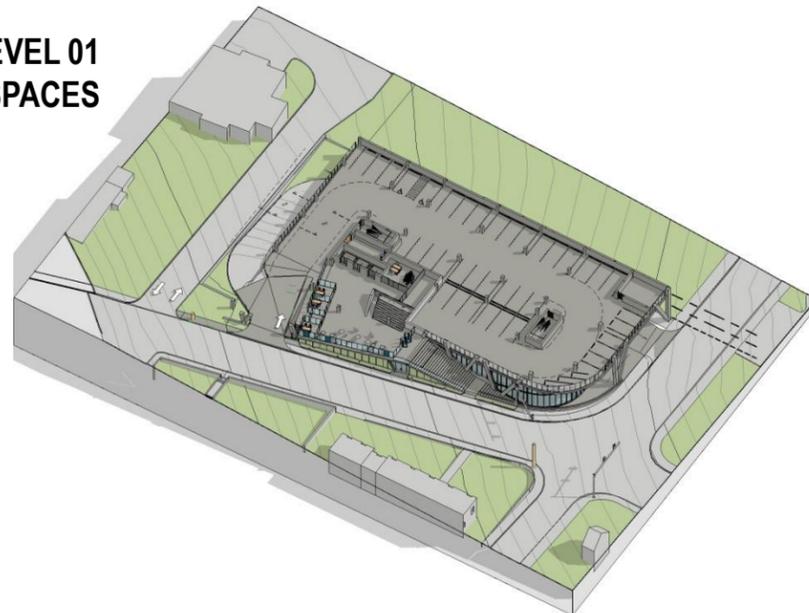


PARKING		
Size	Count	Comments
_Level 01		
Parking Space_8'-6"x18'-0"	32	
Parking Space_8'-0"x15'-0"	5	Compact Spaces
_Level P2		
Parking Space_8'-6"x18'-0"	45	
Parking Space_8'-0"x15'-0"	1	Compact Spaces
_Level P1		
Parking Space_8'-6"x18'-0"	38	
Parking Space_8'-0"x15'-0"	3	Compact Spaces
	124	

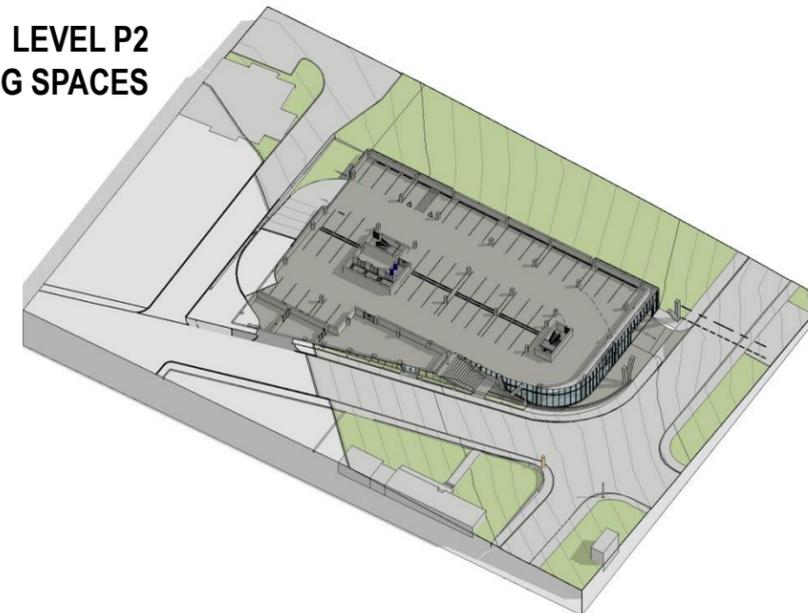
LEVEL P1
41 PARKING SPACES



LEVEL 01
37 PARKING SPACES



LEVEL P2
46 PARKING SPACES



PROPOSED
1349.08 (A)(1)

Residential: Parking shall not be required for the first twenty-two (22) occupants. With the exception of the first twenty-two (22) occupants, the minimum number of parking spaces for permitted residential uses shall be one-half a space (0.5) per occupant.

Spaces Required:
 $368 - 22 * .5 = 173$

1365.04 (P) (1)
Public transit stop reduction (10%) or 17 spaces

1365.04 (P) (2)
Public parking reduction (15%) or 26 spaces

1365.04 (P) (3)
Motorcycle parking reduction (3 space Max)

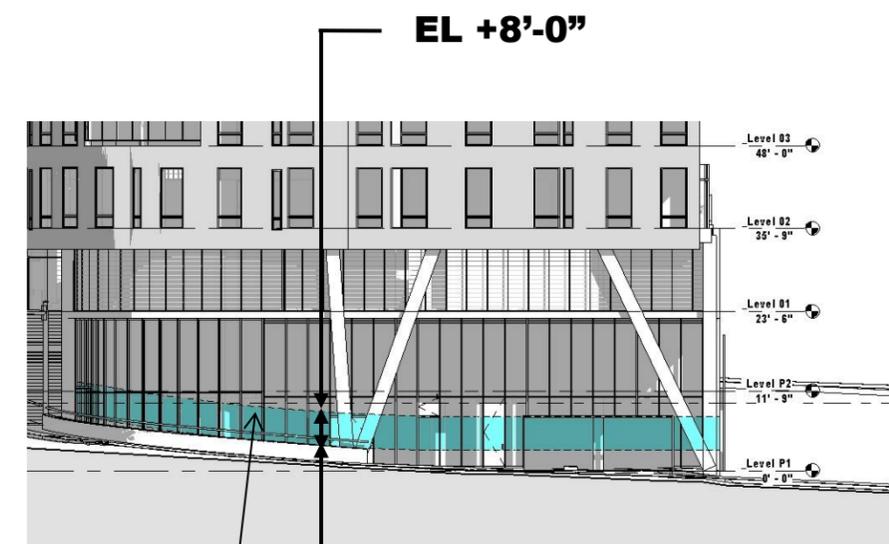
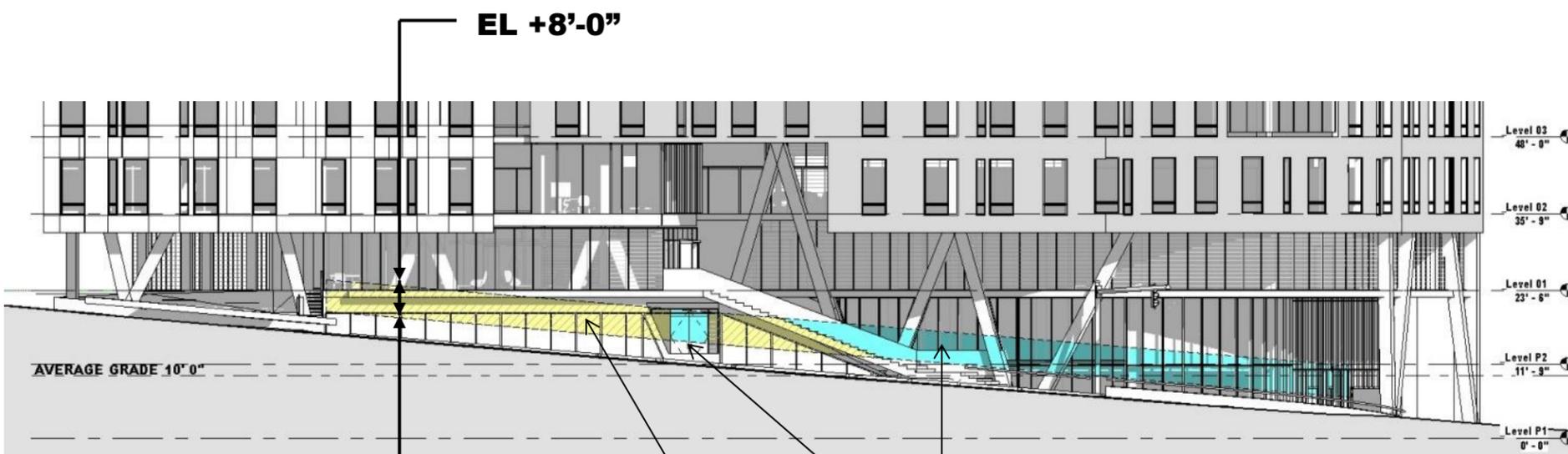
1365.04 (P) (4)
Bicycle parking reduction (3 space Max)

Total Spaces Required: 124

PROPOSED
1351.01 (K) (1)

Transparency: Min (60%) of the street-facing building façade between 3'-0" and 8'-0".

Transparency: of the street-facing building façade between 3'-0" and 8'-0" is 71%



Transparent Building Façade (street-facing building façade between 3'-0" and 8'-0".)	926 SF
Non Transparent Building Façade (street-facing building façade between 3'-0" and 8'-0".)	373 SF
Total Building Façade (street-facing building façade between 3'-0" and 8'-0".)	1299 SF



TABS SYSTEM: KINGSTON BRICK



VERTICAL BRICK FACADE

Museum-Luthers-Sterbehaus-by-Von-M



VERTICAL BRICK FACADE

NICHIHA WEBSITE



CEMENT BD ACCENTS



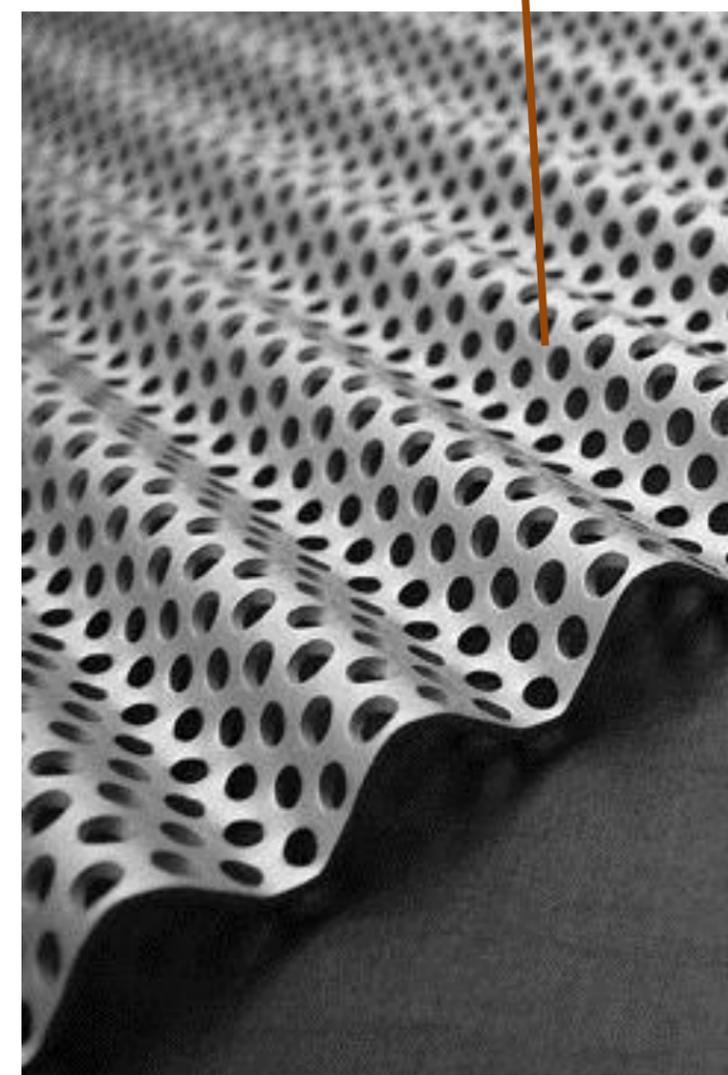
GROUND FLOOR GLAZING



WINDOWS



PERF RIBBED GARAGE PANELS



PERF PANELS

emArchitecture

Erdy McHenry Architecture, LLC

SYMBOLS

	ROOM 000	ROOM NAME ROOM NUMBER
	ROOM 000	ROOM WALL FINISH, UNO ROOM BASE FINISH, UNO ROOM FLOOR FINISH, UNO
	00 0000 01	PROJECT KEYNOTE (BASED ON CSI FORMAT)
	A1 1 A	PARTITION TYPE TAG
	000X	DOOR NUMBER HARDWARE SET DOOR GROUP
		WINDOW TAG
	L0	LOUVER TAG
		WORK POINT / DATUM

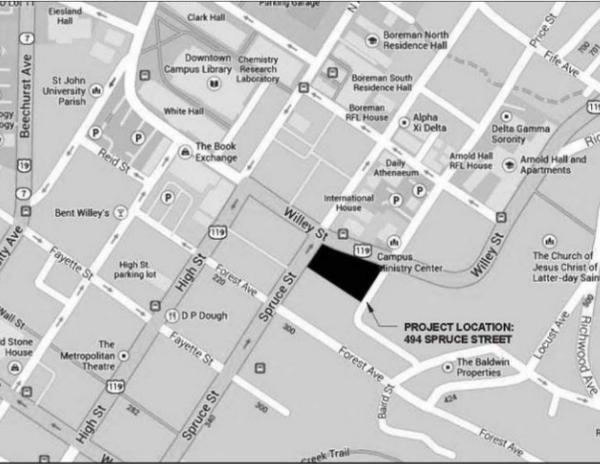
MATERIALS

	EXISTING		METAL
	COMPACTED EARTH/FILL		GYPSUM WALL BOARD
	GRAVEL		RIGID INSULATION
	CONCRETE		BATT INSULATION
	CONCRETE MASONRY UNIT		CONTINUOUS BLOCKING
	STONE		DISCONTINUOUS BLOCKING
	BRICK		PLYWOOD
	GROUT		FINISH WOOD

VICINITY MAP



LOCATION MAP



DRAWING INDEX

Sheet No.	Sheet Name
ARCHITECTURAL	
Z0 01	Cover Sheet
Z0 02	Ground Floor Plans - Levels P1-01
Z0 03	Residential Floor Plans - Levels 02-09
Z0 04	Building Elevations
Z0 11	Perspectives & Site Proximities
Z0 12	Sun Studies
Z0 13	Lighting Plans
CIVIL	
SHEET 1	TITLE SHEET
SHEET 2	EXISTING CONDITIONS
SHEET 3A	DEMOLITION PLAN
SHEET 3B	PROPOSED SITE CONDITIONS
SHEET 4	EROSION CONTROL PLAN
SHEET 5	LANDSCAPE PLAN

Drawing Issue	Date
PCBZA SUBMISSION	2014-04-04

494 Spruce Street
Morgantown, WV

Client:
CA STUDENT LIVING
Campus Acquisitions Holdings, LLC
161 N Clark Suite 2050
Chicago, IL 60601
312-994-1874

Landscape Architects:
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7135 Gemantown Avenue
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Philadelphia, PA 19119

MEP/FP/IT Engineer:
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One Penn Center
1617 JFK Blvd, Suite 1500
Philadelphia, PA 19103

Structural Engineer:
O'Donnell & Naccarato
111 S. Independence Mall East
Suite 950
Philadelphia, PA 19106

Civil Engineer:
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209 Frane Avenue
Morgantown, WV 26501-5934

DAVID MCHENRY, AIA LIC # NO-4615
REGISTERED ARCHITECT - STATE OF WEST VIRGINIA

Architect: SCOTT A. ERDY, AIA
DAVID S. MCHENRY, AIA

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915 North Orianna Street
Philadelphia, Pennsylvania 19123
ph: 215.925.7000 fax: 215.925.1990
web: http://www.em-arc.com

PLANNING AND ZONING CODE ANALYSIS SUMMARY

ZONING DISTRICT	Reference	Permitted/Required	Actual/Proposed	Comments
	Official Zoning Map 1331.01 (A)	B-4 General Business		
PERMITTED LAND USES	TABLE 1331.05.01	Dwelling, Mixed Use	Mixed Use - Residential and Retail	
	1331.06 (26) (a)	The commercial or office space shall not be less than 20 percent and not more than 50 percent of the ground floor area.	Ground Floor Area Commercial or Office Space 13,870 SF 7,104 SF	
LOT PROVISIONS	1349.03 (D)	Maximum lot coverage = 90% (Lot Area = 27,459 SF)	Lot Coverage 86.5% (23,763 SF)	
SETBACKS AND ENCROACHMENTS	1349.04 (A) (1)	No minimum front or street side building setback is required.	Min Front Setback 0'-0"	
	1349.04 (A) (2)	The maximum front and street side building setback may not exceed the average front yard depth of the nearest two (2) lots on either side of the subject lot or 10 feet, whichever is less.	Max Front Setback 10'-0"	
	1349.04 (A) (4)	No interior side setbacks are required for the first floor.	Min Side Setback 0'-0"	
	1349.04 (A) (5)	The minimum rear setback shall be ten percent (10%) of the lot depth or ten (10) feet, whichever is greater.	Spruce Street Front 22'-6" (East Side)	
BUILDING HEIGHT	1349.05 (B)	The maximum height of a principal structure shall not exceed 120 feet.	Building Height 110'-4"	Average Grade = 935 FT, Building Height = 1045 FT
FLOOR AREA RATIO (FAR)	1349.06	The maximum FAR for all development in this district is 7.0. Area designed, constructed, and utilized to provide parking structure facilities shall be exempt from the maximum FAR, provided such area does not exceed 115% of the minimum parking requirement. (Lot Area = 27,459 SF; Allowable Floor Area = 192,213 SF)	Total Floor Area 163,619 SF	
LOT AREA PER DWELLING UNIT	1349.07	The minimum lot area per dwelling unit in this district is 300 square feet. (Lot Area = 27,459 SF; Allowable Number of Units = 92)	Number of Units 92	
SAFETY AND VISION	1363.02	Clear vision triangle of the area of the lot twenty-five (25) feet along the property line from the street right-of-way at intersections.		
PARKING AND LOADING STANDARDS	1349.08 (A) (1) Table 1365.04.01	Residential: Parking shall not be required for the first twenty-two (22) occupants. With the exception of the first twenty-two (22) occupants, the minimum number of parking spaces for permitted residential uses shall be one-half a space (0.5) per occupant, as determined by the West Virginia State Building Code and adopted and implemented by the City. Required Residential Parking = 173 Spaces	Parking Provided 124	Based on 368 Bed Count
	1365.04 (P) (1)	Public transit stop reduction (10%) or 17 Spaces		
	1365.04 (P) (2)	Public parking reduction (15%) or 26 Spaces		
	1365.04 (P) (3)	Motorcycle parking reduction (3 space Maximum)		
	1365.04 (P) (4)	Bicycle parking reduction (3 space Maximum)		
	1349.08 (A) (1)	Bicycle Storage: One (1) indoor, secured, sheltered bicycle storage space per dwelling unit.	Bicycle Spaces Provided 101	
PERFORMANCE STANDARDS	1351.101 (J) (2) (b)	All nonresidential floor space provided on the ground floor of a mixed-use building must contain at least 20 percent of the lot area on lots with 50 feet of street frontage or more. (Lot Area = 27,459 SF; Minimum Area = 5,492 SF)	Ground Floor Area Nonresidential Space 27,459 SF 7,104 SF	
	1351.101 (K) (1)	Transparency: Min (60%) of the street-facing building facade between 3'-0" and 8'-0".	Transparency 65%	
LOADING REQUIREMENTS	1365.10 (b) Table 1365.10.01	For local pick-up and delivery trucks: 12'-0" w x 30'-0" l with 45'-0" maneuvering apron 12'-0" h clearance. Type II: 1 for each 20,000 above 100,000 5 Loading Spaces Required	Loading Spaces Provided 0	Owner-Developer furnishes the residential units provided and so heavy loading requirements are not anticipated for residential levels.

UNIT MIX & GSF SUMMARY

UNIT TYPES	4 x 4	4 x 2	3 x 2	2 x 2	1 x 1	Studios	Units / Floor	Beds / Floor
Level 09	9	3	0	0	0	0	12	48
Level 08	9	3	0	0	0	0	12	48
Level 07	9	3	0	0	0	0	12	48
Level 06	9	3	0	0	0	0	12	48
Level 05	9	3	0	0	0	0	12	48
Level 04	9	3	0	0	0	0	12	48
Level 03	9	3	0	0	0	0	12	48
Level 02	6	2	0	0	0	0	8	32
TOTAL	69	23	0	0	0	0	92	368
%	75%	25%	0%	0%	0%	0%		
AREA	1,243 SF	1,243 SF						

PARKING	Size	Count	Comments
Level 01	UNIVERSAL SPACE	1	
	Parking Space 8'-6"x18'-0"	31	
	Parking Space 8'-0"x15'-0"	5	Compact Parking Spaces
	Parking Space 4'-0"x9'-0"	3	Motorcycle Parking Spaces
Level P2	Parking Space 8'-6"x18'-0" Option	2	Optional Parking Spaces
	Parking Space 8'-6"x18'-0"	45	
	Parking Space 8'-0"x15'-0"	1	Compact Parking Spaces
Level P1	Parking Space 8'-6"x18'-0"	38	
	Parking Space 8'-0"x15'-0"	3	Compact Parking Spaces
TOTAL		124	
		129	With Optional Parking Spaces & Motorcycle Spaces

RESIDENTIAL	NONRESI.	PARKING	TOTALS
Level 09	18,262 SF		18,262 SF
Level 08	18,262 SF		18,262 SF
Level 07	18,262 SF		18,262 SF
Level 06	18,262 SF		18,262 SF
Level 05	18,262 SF		18,262 SF
Level 04	18,262 SF		18,262 SF
Level 03	18,262 SF		18,262 SF
Level 02	16,822 SF		21,842 SF
Level 01	2,409 SF	2,197 SF	19,996 SF
Level P2	1,960 SF	1,670 SF	17,699 SF
Level P1	2,468 SF	3,237 SF	21,329 SF
TOTAL	151,496 SF	7,104 SF	49,091 SF
TOTAL GROSS AREA			212,620 SF
TOTAL GROSS AREA (excluding parking, FAR = 5.96)			163,619 SF

BICYCLE STORAGE	Type	Count	Comments
	Bike Storage Space Saver Double Sided	64	
	Bike Storage Space Saver Wall Mounted	37	
TOTAL		101	Includes 9 Spaces for Parking Reduction

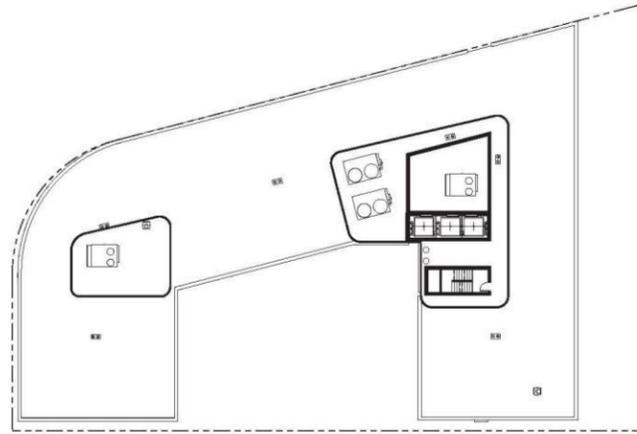
494 Spruce Street

NOT FOR CONSTRUCTION

ZO.01
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Cover Sheet

SCALE: 1/4" = 1'-0"	DATE: 04/04/2014
DRAWN BY: BA / CE	PROJECT NO: 1149.00
DRAWING NUMBER:	



8 Roof Plan
Scale: 1" = 30'-0"



5 Level 07 Floor Plan
Scale: 1" = 30'-0"



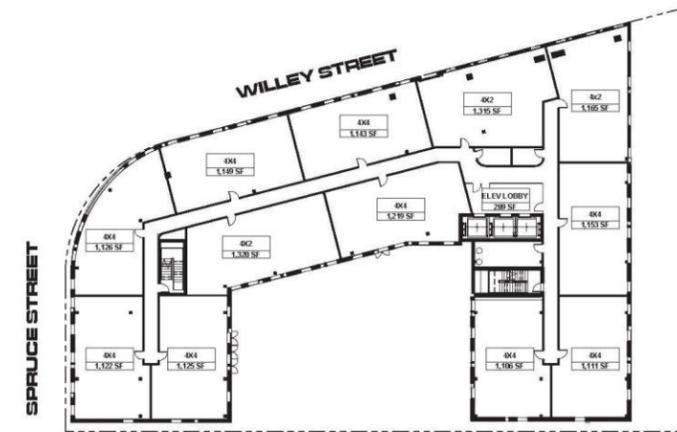
2 Level 04 Floor Plan
Scale: 1" = 30'-0"



7 Level 09 Floor Plan
Scale: 1" = 30'-0"



4 Level 06 Floor Plan
Scale: 1" = 30'-0"



1 Level 03 Floor Plan
Scale: 1" = 30'-0"



6 Level 08 Floor Plan
Scale: 1" = 30'-0"



3 Level 05 Floor Plan
Scale: 1" = 30'-0"



9 Level 02 Floor Plan
Scale: 1" = 30'-0"

Drawing Issue	Date
PCBZA SUBMISSION	2014-04-04

494 Spruce Street
Morgantown, WV

Clients:
CA STUDENT LIVING
Campus Acquisitions Holdings, LLC
161 N Clark Suite 2050
Chicago, IL 60601
312-994-1874

Landscape Architects:
Roo/Meadow
7135 Germantown Avenue
2nd Flr
Philadelphia, PA 19119

MEP/FP/IT Engineers:
Environetics Design, Inc.
One Penn Center
1617 JFK Blvd, Suite 1500
Philadelphia, PA 19103

Structural Engineers:
O'Donnell & Naccarato
111 S. Independence Mall East
Suite 950
Philadelphia, PA 19106

Civil Engineer:
Alpha Associates, Inc.
209 Frame Avenue
Morgantown, WV 26501-5934

DAVID MCHENRY, AIA LIC # NO-4615
REGISTERED ARCHITECT - STATE OF WEST VIRGINIA

Architect: SCOTT A. ERDY, AIA
DAVID S. MCHENRY, AIA

emArchitecture
Erdy McHenry Architecture, LLC
915 North Orianna Street
Philadelphia, Pennsylvania 19123
ph: 215.925.7000 fax: 215.925.1990
web: http://www.em-arc.com

Residential Floor Plans - Levels 02-09

SCALE: 1" = 30'-0"	DATE: 04/04/2014
DRAWN BY: BA / CE	PROJECT NO: 1149.00
DRAWING NUMBER:	

ZO.03
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Drawing Issue	Date
PCBZA SUBMISSION	2014-04-04

494 Spruce Street
Morgantown, WV

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DAVID MCHENRY, AIA LIC # NO-4615
REGISTERED ARCHITECT - STATE OF WEST VIRGINIA

Architect: SCOTT A. ERDY, AIA
DAVID S. MCHENRY, AIA

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Perspectives & Site Proximities

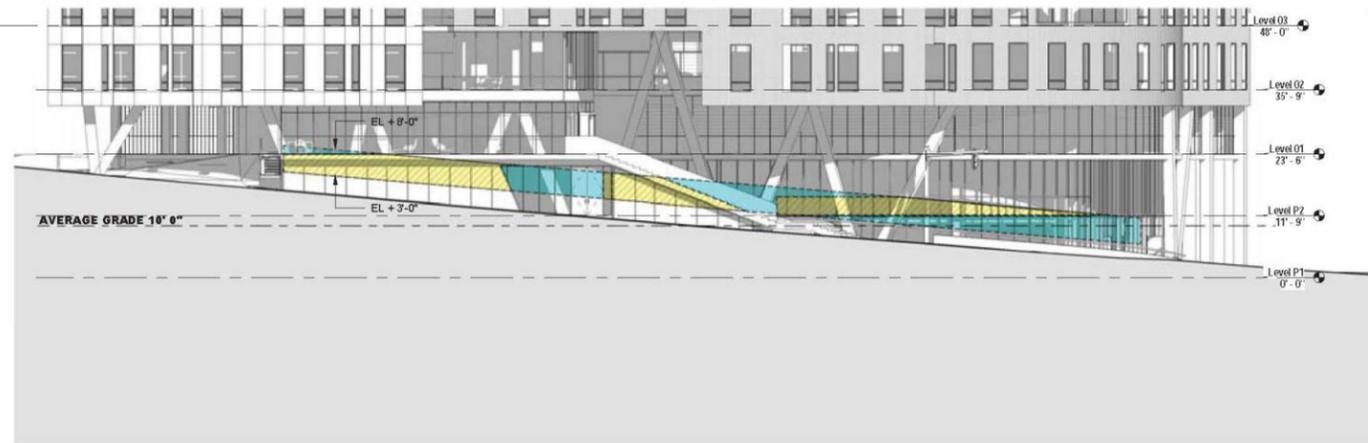
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DRAWN BY: BA / CE	PROJECT NO: 1149.00
DRAWING NUMBER:	



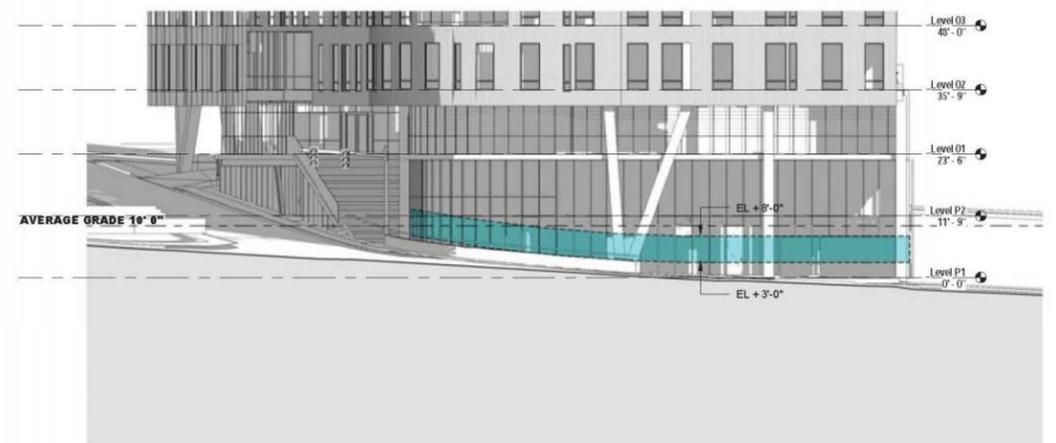
2 Site Proximity Diagram for Parking Reductions
Scale: 1" = 160'-0"

Total Building Facade 1299 SF
Non Transparent Building Facade 449 SF
Transparent Building Facade 850 SF

Transparency: of the street-facing building facade between 3'-0" and 8'-0" is 65%



3 North Elevation- Transparency Study
NTS



1 West Building Elevation
NTS



12 Sun Study_Winter - 3pm
Scale: 1" = 200'-0"



9 Sun Study_Autumn - 4pm
Scale: 1" = 200'-0"



6 Sun Study_Summer - 5pm
Scale: 1" = 200'-0"



3 Sun Study_Spring - 4pm
Scale: 1" = 200'-0"



11 Sun Study_Winter - 12pm
Scale: 1" = 200'-0"



8 Sun Study_Autumn - 12pm
Scale: 1" = 200'-0"



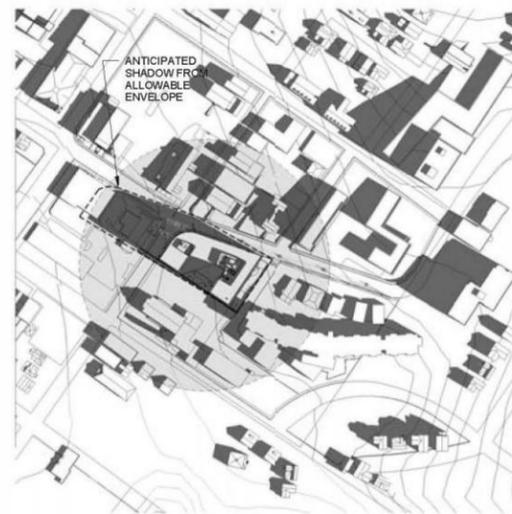
5 Sun Study_Summer - 12pm
Scale: 1" = 200'-0"



2 Sun Study_Spring - 12pm
Scale: 1" = 200'-0"



10 Sun Study_Winter - 10am
Scale: 1" = 200'-0"



7 Sun Study_Autumn - 9am
Scale: 1" = 200'-0"



4 Sun Study_Summer - 8am
Scale: 1" = 200'-0"



1 Sun Study_Spring - 9am
Scale: 1" = 200'-0"

Drawing Issue	Date
PCBZA SUBMISSION	2014-04-04
PCBZA SUBMISSION REVISIONS	2014-04-25

494 Spruce Street
Morgantown, WV

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DAVID MCHENRY, AIA LIC # NO-4615
REGISTERED ARCHITECT - STATE OF WEST VIRGINIA

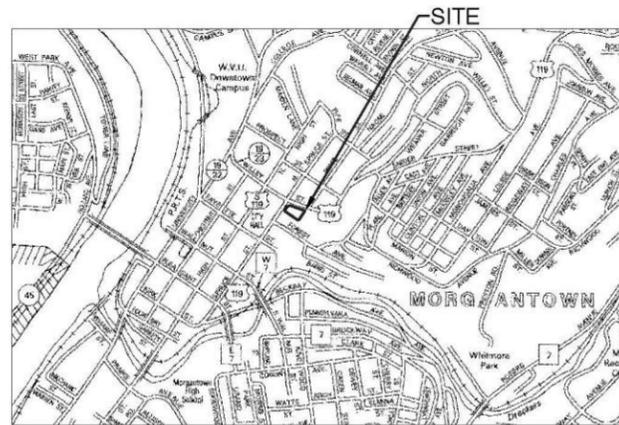
Architect: SCOTT A. ERDY, AIA
DAVID S. MCHENRY, AIA
emArchitecture
Erdy McHenry Architecture, LLC
915 North Orianna Street
Philadelphia, Pennsylvania 19123
ph: 215.925.7000 fax: 215.925.1990
web: <http://www.em-arc.com>

Sun Studies

SCALE: 1" = 200'-0"	DATE: 04/04/2014
DRAWN BY: BA / CE	PROJECT NO: 1149.00
DRAWING NUMBER:	

CONTROL POINTS				
BENCHMARK	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP#1	412310.74	1841054.80	941.06	PK NAIL
CP#2	412429.44	1841127.35	945.05	PK NAIL
CP#3	412428.47	1840817.51	921.64	PK NAIL
CP#4	412535.10	1840957.48	930.81	PK NAIL

HORIZONTAL DATUM: NAD 83 WEST VIRGINIA NORTH STATE PLANE
 VERTICAL DATUM: NGVD 29
 NOTE: THE LOCATION, TYPE, AND SIZES OF POTABLE WATERLINES, STORM SEWERS,
 AND SANITARY SEWERS ARE APPROXIMATE, BASED ON SYSTEM MAPS PROVIDED
 BY THE MORGANTOWN UTILITY BOARD.



LOCATION MAP
NOT TO SCALE

NOTES:

- OWNER-DEVELOPER: CAMPUS ACQUISITIONS HOLDINGS, LLC
161 N CLARK SUITE 2050
CHICAGO, IL 60601
312-994-1874
ATTN: STEPHEN BUS
- NUMBER OF DWELLING UNITS: 387 BEDS
- PROPOSED USES: STUDENT HOUSING AND RETAIL
- PROPOSED STARTING DATE: MAY 1, 2014
PROPOSED COMPLETION DATE: JULY 15, 2015

DESCRIPTION OF ALTA/ACSM LAND TITLE SURVEY

THIRD WARD, CITY OF MORGANTOWN, MONONGALIA COUNTY, WEST VIRGINIA
 TAX MAP 26, PARCELS 245 AND 246

ALL OF THAT PARCEL OF LAND DESIGNATED AS TAX MAP 26, PARCELS 245 AND 246 IN THE THIRD WARD OF THE CITY OF MORGANTOWN, MONONGALIA COUNTY, WEST VIRGINIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A PK NAIL, FOUND, IN THE SOUTHERN RIGHT-OF-WAY LINE OF WILLEY STREET, BEING THE COMMON NORTHERN CORNER OF TRUSTEES OF THE FIRST PRESBYTERIAN CHURCH OF MORGANTOWN (DEED BOOK 1364 AT PAGE 40 AND DEED BOOK 511 AT PAGE 49B); THENCE WITH SAID CHURCH FOR TWO (2) LINES

S 34 17' 28" W, 152.24 FEET TO A 5/8-INCH IRON ROD, FOUND; THENCE

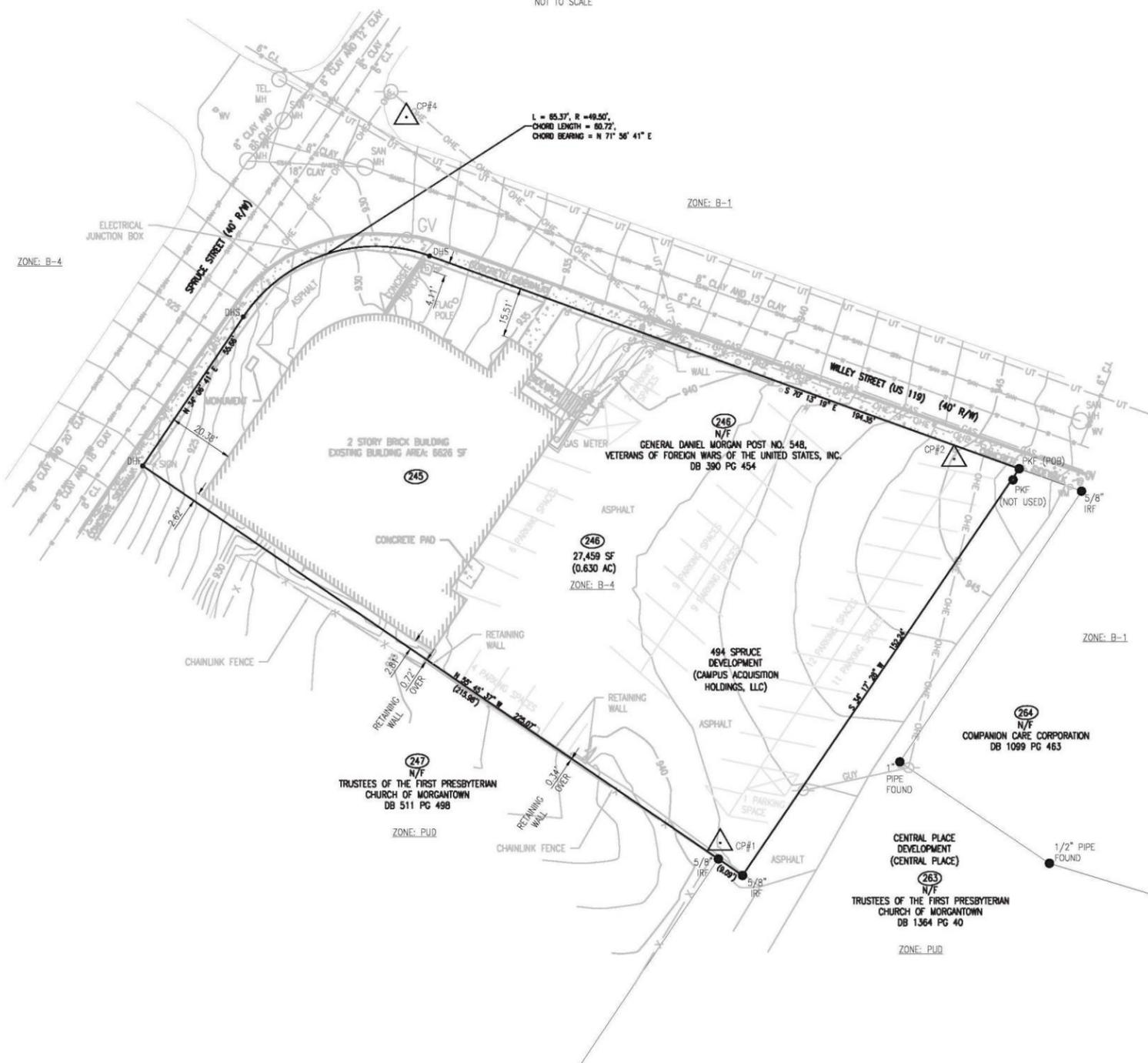
N 55 45' 37" W, AT 9.09 FEET PASSING A 5/8-INCH IRON ROD, FOUND, IN ALL 225.07 FEET TO A DRILL HOLE IN CONCRETE SIDEWALK, FOUND, IN THE EASTERN RIGHT-OF-WAY LINE OF SPRUCE STREET; THENCE WITH SAID EASTERN RIGHT-OF-WAY FOR TWO (2) LINES

N 34 06' 41" E, 55.66 FEET TO A 3/8-INCH DRILL HOLE IN CONCRETE SIDEWALK, SET THIS SURVEY, THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 49.50 FEET, A CHORD BEARING OF N 71 56' 41" E, AND A CHORD LENGTH OF 60.72 FEET; THENCE ALONG SAID CURVE

NORTHEASTERLY, 65.37 FEET TO A 3/8-INCH DRILL HOLE IN CONCRETE SIDEWALK, SET THIS SURVEY, IN SAID SOUTHERN RIGHT-OF-WAY LINE OF WILLEY STREET; THENCE WITH SAID SOUTHERN RIGHT-OF-WAY LINE

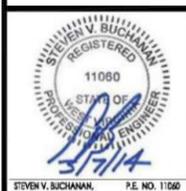
S 70 13' 19" E, 194.35 FEET TO THE PLACE OF BEGINNING AND CONTAINING 27,459 SQUARE FEET (0.630 ACRES), MORE OR LESS, AS SURVEYED IN OCTOBER 2013 BY ALPHA ASSOCIATES, INCORPORATED, MORGANTOWN, WEST VIRGINIA.

THE PARCEL OF LAND HEREINAFORE DESCRIBED IS THE SAME REAL ESTATE CONVEYED UNTO GENERAL DANIEL MORGAN POST NO. 548, VETERANS OF FOREIGN WARS OF THE UNITED STATES, INC. FROM JOHN L. HATFIELD, BY DEED DATED NOVEMBER 18, 1946 OF RECORD IN THE OFFICE OF THE CLERK OF THE COUNTY COMMISSION OF MONONGALIA COUNTY, WEST VIRGINIA, IN DEED BOOK 390 AT PAGE 459 SUBJECT TO AN OUT-CONVEYANCE TO THE STATE OF WEST VIRGINIA BY THE STATE ROAD COMMISSION OF WEST VIRGINIA FROM GENERAL DANIEL MORGAN POST NO. 548, VETERANS OF FOREIGN WARS OF THE UNITED STATES, INC., BY DEED DATED JULY 8, 1949 OF RECORD IN THE OFFICE OF THE CLERK OF THE COUNTY COMMISSION OF MONONGALIA COUNTY, WEST VIRGINIA, IN DEED BOOK 437 AT PAGE 101.



- DRAWING KEY
- XXX INDICATES TAX MAP 26 PARCEL NUMBER
 - N/F NOW OR FORMERLY
 - IRF INDICATES IRON ROD FOUND SIZE AS INDICATED
 - PKF INDICATES PK NAIL FOUND
 - DHF INDICATES 3/8" DRILL HOLE IN CONCRETE FOUND
 - DHS INDICATES 3/8" DRILL HOLE SET THIS SURVEY
 - IRS INDICATES 3/8"x30" IRON ROD WITH ORANGE CAP STAMPED "ALPHA ASSOC. PROP. CORNER" SET THIS SURVEY.
 - EXISTING UTILITY POLE
 - LP EXISTING LIGHT POLE
 - TSP EXISTING TRAFFIC SIGNAL POLE
 - TEL EXISTING TELEPHONE MANHOLE
 - SAN MH EXISTING SANITARY MANHOLE
 - GV EXISTING GAS VALVE
 - WV EXISTING WATER VALVE
 - WM EXISTING WATER METER
 - EXISTING UNDERGROUND TELEPHONE
 - E EXISTING OVERHEAD ELECTRIC
 - GAS EXISTING GAS LINE
 - EXISTING CHAINLINK FENCE
 - SS EXISTING STORM SEWER
 - SSW EXISTING SANITARY SEWER

494 SPRUCE STREET
 FOR
 CAMPUS ACQUISITIONS HOLDINGS, LLC
 MORGANTOWN, WEST VIRGINIA



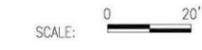
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REVISIONS	
ITEM	DATE

PROJ. NO.: 1310125.01
 DATE: 03/07/2014
 SHEET NO.:

SHEET 1

ALPHA ASSOCIATES, INC.
 209 PRAIRIE AVENUE
 MORGANTOWN, WV 26501
 PHONE/FAX: 304-296-8216
 TOLL FREE: 800-640-8216
 www.thinkALPHAest.com



TITLE SHEET

SCHEMATIC DESIGN

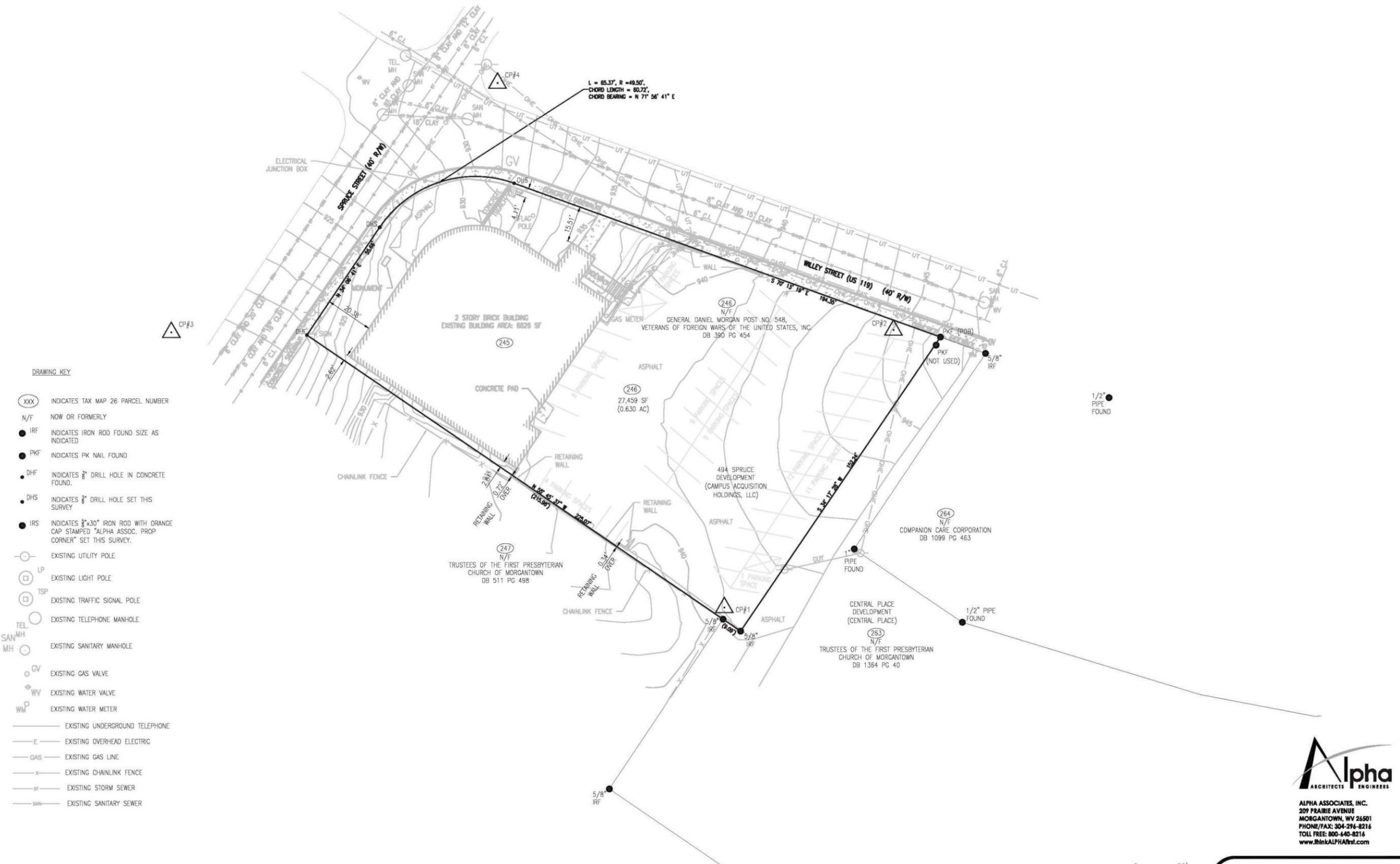
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CONTROL POINTS				
BENCHMARK	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP#1	412310.74	1841054.80	941.06	PK NAIL
CP#2	412429.44	1841127.35	945.05	PK NAIL
CP#3	412428.47	1840817.51	921.64	PK NAIL
CP#4	412535.10	1840957.48	930.81	PK NAIL

HORIZONTAL DATUM: NAD 83 WEST VIRGINIA NORTH STATE PLANE
 VERTICAL DATUM: NGVD 29

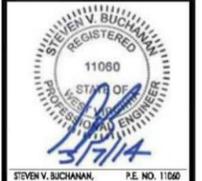
NOTE: THE LOCATION, TYPE, AND SIZES OF POTABLE WATERLINES, STORM SEWERS, AND SANITARY SEWERS ARE APPROXIMATE, BASED ON SYSTEM MAPS PROVIDED BY THE MORGANTOWN UTILITY BOARD.

NOTES:
 1. FLOOD ZONE CLASSIFICATION: ALL OF THE PROPERTY IN THIS SURVEY IS LOCATED OUTSIDE OF THE 500-YEAR FLOOD PLAIN IDENTIFIED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 54061C0114E DATED JANUARY 20, 2010.
 2. NO WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES WERE OBSERVED DURING THE SURVEY.



- DRAWING KEY
- XXX INDICATES TAX MAP 26 PARCEL NUMBER
 - N/F NOW OR FORMERLY
 - IRF INDICATES IRON ROD FOUND SIZE AS INDICATED
 - PKF INDICATES PK NAIL FOUND
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 - TSP EXISTING TRAFFIC SIGNAL POLE
 - TEL EXISTING TELEPHONE MANHOLE
 - SAN MH EXISTING SANITARY MANHOLE
 - GV EXISTING GAS VALVE
 - WV EXISTING WATER VALVE
 - WM EXISTING WATER METER
 - EXISTING UNDERGROUND TELEPHONE
 - E EXISTING OVERHEAD ELECTRIC
 - GAS EXISTING GAS LINE
 - CH EXISTING CHAINLINK FENCE
 - ST EXISTING STORM SEWER
 - SM EXISTING SANITARY SEWER

494 SPRUCE STREET
 FOR
 CAMPUS ACQUISITIONS HOLDINGS, LLC
 MORGANTOWN, WEST VIRGINIA



REVISIONS

ITEM	DATE

Alpha
 ARCHITECTS ENGINEERS

ALPHA ASSOCIATES, INC.
 209 PRAIRIE AVENUE
 MORGANTOWN, WV 26501
 PHONE/FAX: 304-296-8216
 TOLL FREE: 800-640-8216
 www.thinkALPHAest.com

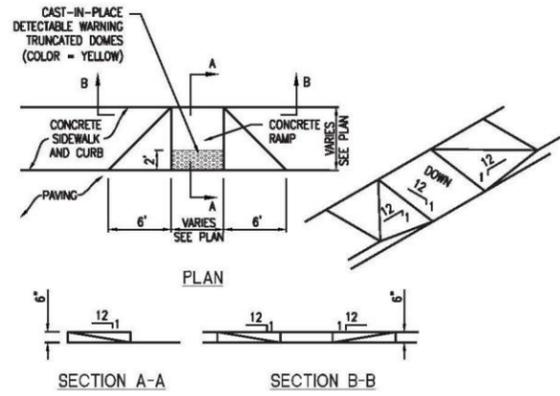


EXISTING SITE CONDITIONS

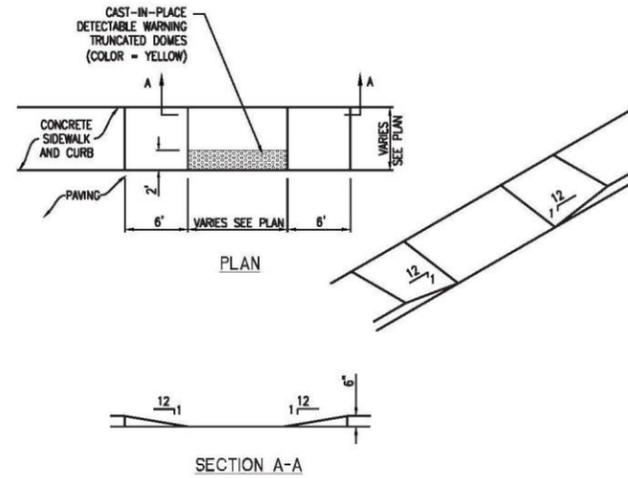
PROJ. NO.: 1310125.01
 DATE: 03/07/2014
 SHEET NO.: **SHEET 2**

SCHEMATIC DESIGN

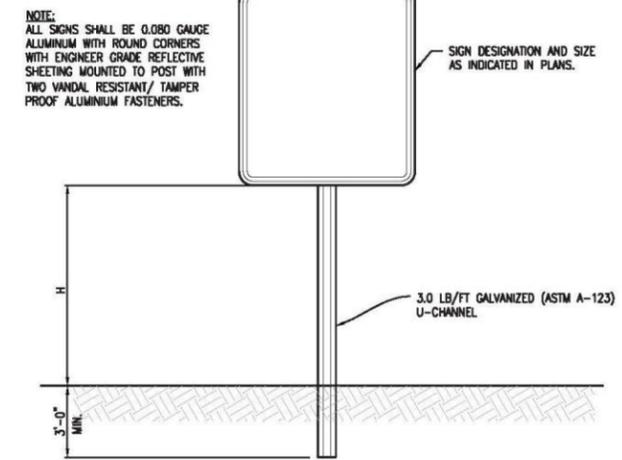
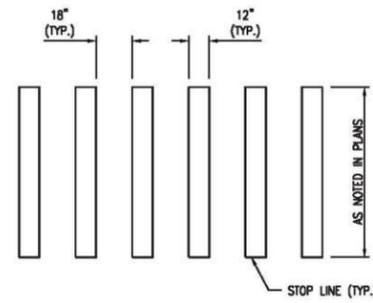
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SIDEWALK RAMP DETAILS
NO SCALE



CROSS WALK DETAIL
NO SCALE

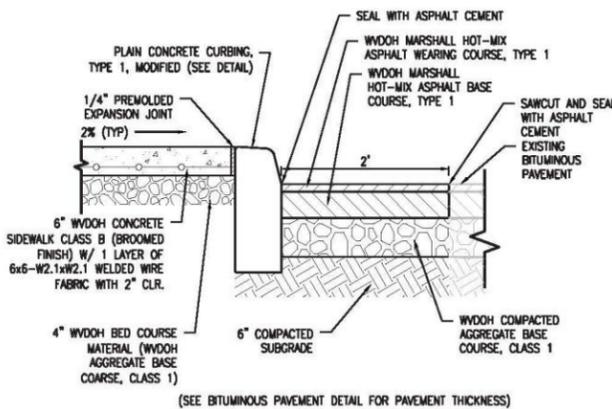


NOTE:
ALL SIGNS SHALL BE 0.080 GAUGE ALUMINUM WITH ROUND CORNERS WITH ENGINEER GRADE REFLECTIVE SHEETING MOUNTED TO POST WITH TWO VANDAL RESISTANT/TAMPER PROOF ALUMINUM FASTENERS.

SIGN DETAIL
NO SCALE

SIGNING AND PAVEMENT MARKING NOTES

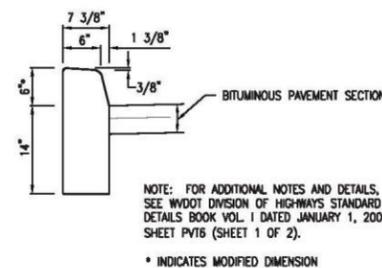
1. ALL 4" AND 6" SOLID WHITE OR SOLID YELLOW EDGE LINES, LANE LINES, CENTERLINES AND BARRIER LINES SHALL BE TYPE II PAVEMENT MARKING MATERIAL.
2. ALL STOP LINES SHALL BE 12" OR 24" WIDE, TYPE V, UNLESS OTHERWISE NOTED.
3. EDGE LINES SHALL BE PLACED BASED ON PLANNED LANE WIDTHS (12" TYP.) AND NOT THE EDGE OF PAVEMENT.
4. ALL MARKINGS SHALL BE CONTINUOUS AND CONSISTENT WITH EXISTING MARKINGS WHERE THEY JOIN.
5. NO MARKINGS SHALL BE PLACED ON EXPANSION JOINTS OR STRUCTURES OR ON LONGITUDINAL CONSTRUCTION JOINTS UNLESS SO DIRECTED BY THE ENGINEER.
6. CONTRACTOR SHALL NOTIFY THE ENGINEER AND WDOH PRIOR TO PLACEMENT OF PERMANENT PAVEMENT MARKINGS TO VERIFY LOCATION.



NOTES:

1. FOR SIDEWALK, PROVIDE 3/8" WIDE CONTROL JOINTS TO A DEPTH OF 1/4TH THE SIDEWALK THICKNESS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH, AT ALL CHANGES OF DIRECTION, AND AT THE BEGINNING AND ENDING OF ALL TAPERED CURBS.
2. FOR CURBS, PROVIDE 3/8" WIDE CONTROL JOINTS TO A DEPTH OF 2" MINIMUM IN UNIFORM INTERVALS NOT TO EXCEED 20 FEET, AT ALL CHANGES OF DIRECTION, AND AT THE BEGINNING AND ENDING OF ALL TAPERED CURBS.
3. PROVIDE 1/4" PREMOULDED EXPANSION JOINT MATERIAL AT INTERVALS OF 30' MAXIMUM, AT THE END OF THE WORK DAY, AND AT ALL STRUCTURES AND RIGID SURFACES.
4. AROUND UTILITY POLES, METERS, FIRE HYDRANTS, AND OTHER LIKE FEATURES, CONSTRUCT AN INDEPENDENT RECTANGULAR-SHAPED SLAB A MINIMUM OF 1" IN ALL DIRECTIONS. PROVIDE 1/4" PREMOULDED EXPANSION JOINT MATERIAL AT ALL INTERFACES WITH ADJOINING CONCRETE.
5. ALL JOINTS SHALL BE NEATLY FILLED WITH WHITE ELASTOMERIC SEALING COMPOUND TO WITHIN 1/8" OF THE SURFACE.
6. ANY EXISTING FACILITIES INCLUDING, BUT NOT LIMITED TO, PARKING METERS AND FLAG POLE HOLDERS IN THE SIDEWALK REQUIRING REINSTALLATION SHALL BE REINSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST.
7. CURB AND SIDEWALK MAY BE POURED INTEGRALLY UNLESS OTHERWISE NOTED OR REQUIRED.

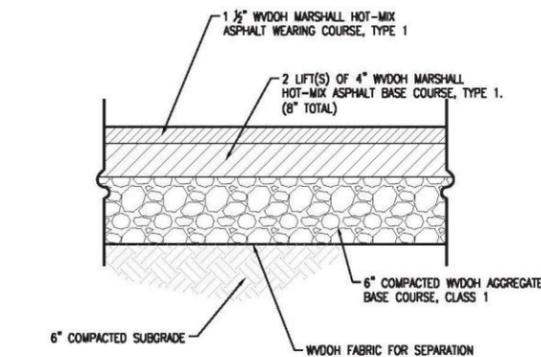
SIDEWALK AND CONCRETE CURBING 6" REVEAL (TYP.)
NO SCALE



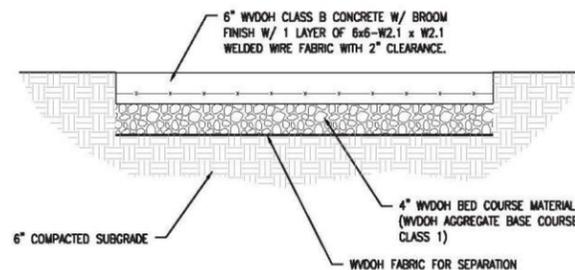
NOTE: FOR ADDITIONAL NOTES AND DETAILS, SEE WDOH DIVISION OF HIGHWAYS STANDARD DETAILS BOOK VOL. 1 DATED JANUARY 1, 2000, SHEET PV16 (SHEET 1 OF 2).

* INDICATES MODIFIED DIMENSION

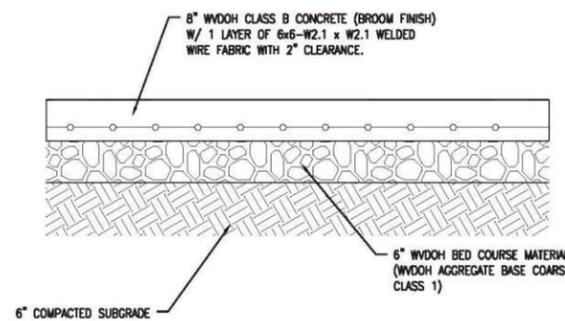
PLAIN CONCRETE CURBING, TYPE I, MODIFIED
NO SCALE



(LOCATION) BITUMINOUS PAVEMENT DETAIL
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NO SCALE



CONCRETE PAD DETAIL
NO SCALE

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MORGANTOWN, WEST VIRGINIA



STEVEN V. BUCHANAN, P.E. NO. 11080

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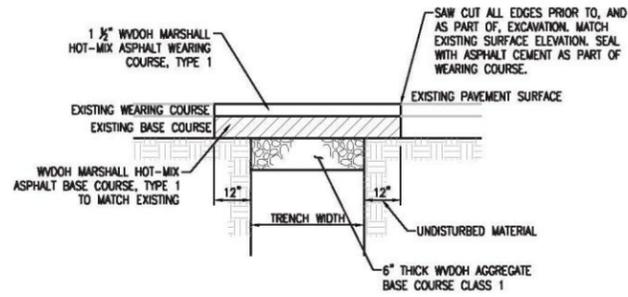
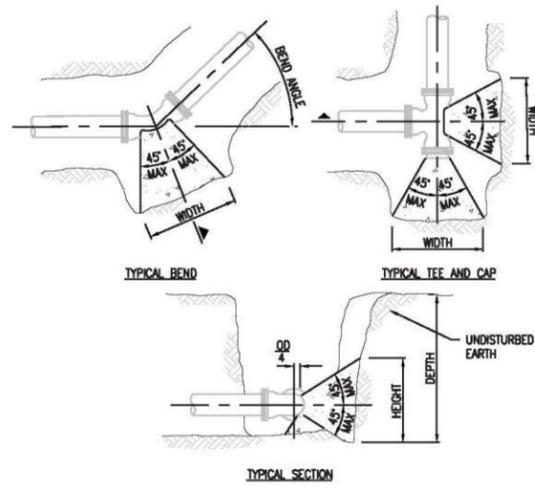
SHEET 6

ALPHA ASSOCIATES, INC.
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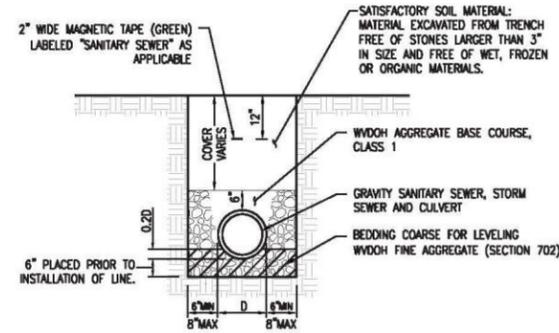
BEARING AREAS ARE BASED ON 200 PSI TEST PRESSURE, A SOIL RESISTANCE OF 1500 PSF, AND A SAFETY FACTOR OF 1.5 IF WEAK (LESS THAN 1500 PSF RESISTANCE) SOIL POCKETS ARE ENCOUNTERED, INCREASE THE BEARING AREAS SHOWN TO PREVENT MOVEMENT UNDER TEST OR OPERATING PRESSURES.

PIPE SIZE	MINIMUM BEARING AREA (SF) = WIDTH X HEIGHT				TEE, CAP, OR PLUG
	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	
2"	0.6	0.4	0.2	0.1	0.5
4"	2.4	1.3	0.7	0.4	1.7
6"	5.4	2.9	1.5	0.8	3.8
8"	9.5	5.2	2.7	1.4	6.8
10"	14.8	8.1	4.1	2.1	10.5
12"	21.4	11.6	5.9	3.0	15.1

THRUST BLOCKS SHALL BE 3000 PSI CONCRETE

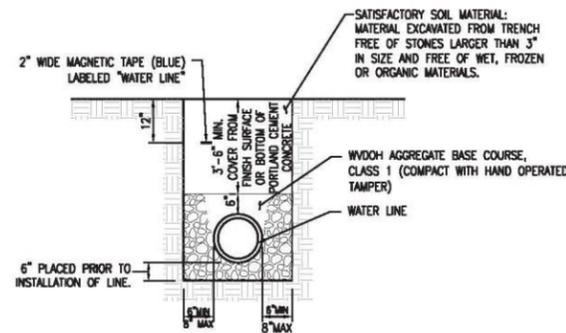
NOTES:

1. BEARING SURFACE SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHERE THIS IS NOT POSSIBLE, COMPACT FILL BETWEEN BEARING SURFACE AND UNDISTURBED SOIL.
2. BLOCK HEIGHT SHALL NOT EXCEED 1/2 OF THE TOTAL DEPTH TO THE BOTTOM OF THE BLOCK, BUT NOT LESS THAN THE PIPE DIAMETER.
3. BLOCK WIDTH SHALL BE 1 TO 2 TIMES THE BLOCK HEIGHT.
4. PROVIDE CLEARANCE FOR BOLT REMOVAL.
5. ALL FITTINGS FOR 4" PIPE OR GREATER SHALL ALSO INCLUDE EBAA IRON, INC. OR FORD MECHANICAL JOINT RESTRAINTS OR EQUAL. THESE SHALL BE INCIDENTAL TO THE ITEMS OF WORK FOR WHICH THESE ARE REQUIRED.
6. THRUST BLOCKING SHALL BE INCIDENTAL.



WATER LINE HORIZONTAL THRUST BLOCKING DETAIL

NOT TO SCALE

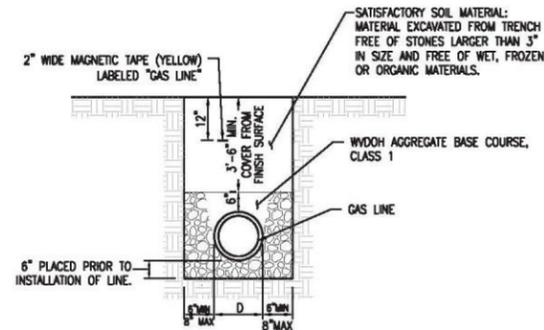


TRENCH DETAIL NOTES:

1. ALL EXCAVATION SHALL BE UNCLASSIFIED REGARDLESS OF THE MATERIALS ENCOUNTERED.
2. THE CONTRACTOR SHALL BACKFILL ALL TRENCHES IN LIFTS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
3. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL.

TRENCH DETAIL FOR GAS LINE

NO SCALE



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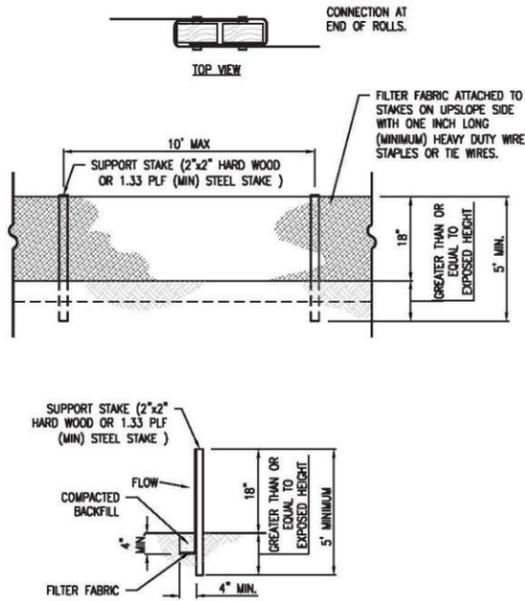
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SHEET 7

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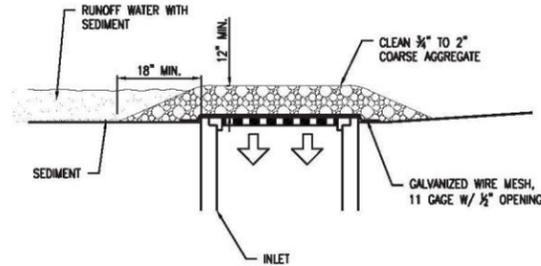
18' FILTER FABRIC SILT FENCE
NO SCALE

- NOTES:**
1. FILTER FABRIC SILT FENCE SHALL BE CONSTRUCTED PARALLEL TO GROUND CONTOUR.
 2. BOTH ENDS OF THE FILTER FABRIC SILT FENCE SHALL EXTEND A MINIMUM OF 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN ALIGNMENT.

- MAINTENANCE:**
1. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL OF 0.5 INCH OR GREATER AND AT LEAST DAILY DURING PROLONGED RAINFALL OR ONCE A WEEK. ANY REQUIRED REPAIRS OR MAINTENANCE SHALL BE MADE IMMEDIATELY.
 2. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF THE DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING. IF THE FENCE IS NOT INSTALLED ON THE CONTOUR (PERPENDICULAR TO THE FLOW OF THE WATER) BOTH OF THESE CONDITIONS CAN OCCUR.
 3. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 4. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 5. IF ANY SECTION OF SILT FENCE IS KNOCKED DOWN DURING A RAIN EVENT (BECAUSE IT WAS INSTALLED IN AN AREA OF CONCENTRATED FLOW) THEN OTHER MEASURES SUCH AS SEDIMENT TRAP AND DIVERSION OR SUPER SILT FENCE MUST BE INSTALLED.

EROSION AND SEDIMENT CONTROL NOTES

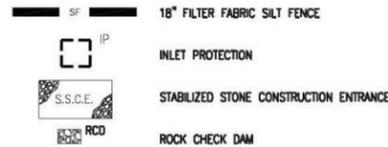
1. INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE WEST VIRGINIA BEST MANAGEMENT PRACTICES MANUAL, AVAILABLE ON THE WVDEP WEBSITE <http://www2.wvdep.org/ewm/stormwater/BMP/index.html>. ALL CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF 0.25 INCHES OR GREATER.
2. PRIOR TO CLEARING AND GRUBBING AND BEGINNING EARTH WORK, INSTALL, OPERATE, AND MAINTAIN FILTER FABRIC SILT FENCE, "STABILIZED CONSTRUCTION ENTRANCE, AND "INLET PROTECTION" ON ALL EXISTING INLETS. AS NEW INLETS ARE CONSTRUCTED AND BECOME OPERATIONAL, INSTALL, OPERATE, AND MAINTAIN "INLET PROTECTION" AROUND THOSE INLETS.
3. UPON STABILIZATION OF ENTIRE SITE, REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES AND SEED AND MULCH THOSE AREAS DISTURBED BY THEIR REMOVAL IN ACCORDANCE WITH THE SPECIFICATIONS.
4. INSTALL, OPERATE, AND MAINTAIN FILTER FABRIC SILT FENCE AS PER DETAIL.
5. "STABILIZED CONSTRUCTION ENTRANCE" SHALL BE COMPLETE IN PLACE AS PER DETAIL AND SHALL INCLUDE ALL OPERATIONS AND MAINTENANCE.
6. "INLET PROTECTION" SHALL BE COMPLETE IN PLACE AS PER DETAIL AND SHALL INCLUDE ALL OPERATIONS AND MAINTENANCE.
7. ALL TOP SOIL IN THE DISTURBED AREAS SHALL BE STRIPPED AND STORED FOR USE IN AREAS RECEIVING PERMANENT VEGETATION.
8. AS REQUIRED UNDER PERMIT WV0115924, STABILIZATION MEASURES, INCLUDING, BUT NOT LIMITED TO, PERMANENT SEEDING AND MULCHING SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
9. "PERMANENT SEEDING AND MULCHING" SHALL BE COMPLETE AND IN PLACE IN ACCORDANCE WITH WVDOH SPECIFICATION SECTION 652 AND SHALL INCLUDE THE FOLLOWING:
 - SEED MIX, TYPE C-2 APPLIED AT A RATE OF 97 POUNDS PER ACRE.
 - STRAW MULCH APPLIED AT A RATE OF 2 TONS PER ACRE.
 - FERTILIZER APPLIED AT A RATE OF 1000 POUNDS PER ACRE OF 10-20-10 FERTILIZER OR EQUIVALENT.
 - SLOW RELEASE UREA FORMALDEHYDE FERTILIZER AT A RATE OF 300 POUNDS PER ACRE.
 - AGRICULTURAL LIMESTONE APPLIED AT A RATE OF 1.5 TON PER ACRE.



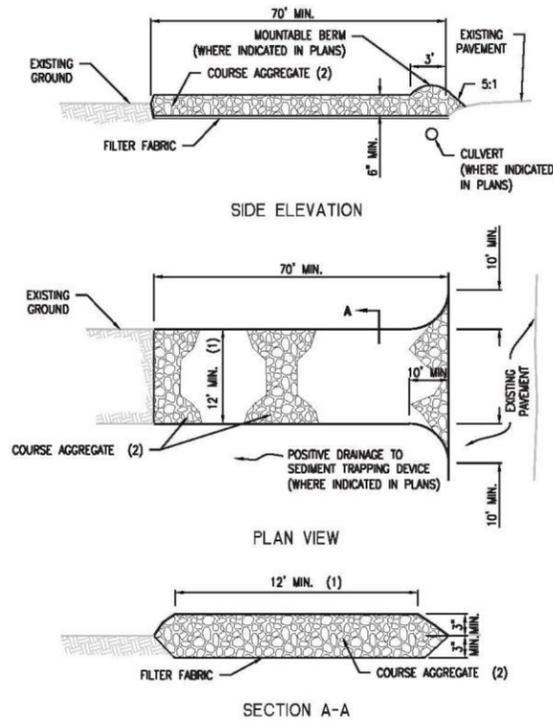
INLET PROTECTION
NO SCALE

- NOTES:**
1. OTHER EFFECTIVE METHODS OF PROVIDING INLET PROTECTION MAY BE USED UPON THE ENGINEERS REVIEW.

- MAINTENANCE:**
1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH 0.5" OF RAIN AND AT LEAST ONCE A WEEK AND REPAIRS MADE AS NEEDED. CONSTRUCTION TRAFFIC HAS A TENDENCY TO DESTROY THESE PRACTICES SO FREQUENT INSPECTIONS ARE NECESSARY.
 2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 3. INLET PROTECTION SHOULD REMAIN IN PLACE AND OPERATIONAL UNTIL THE DRAINAGE AREA IS COMPLETELY STABILIZED. IMMEDIATELY STABILIZE THE AREA DISTURBED BY THE INSTALLATION AND REMOVAL OF THE PRACTICE.
 4. IT IS ESSENTIAL THAT MAINTENANCE BE DONE TO INSURE THAT STRUCTURES DO NOT FAIL, ESPECIALLY TO PREVENT CLOGGING. FAILURE OF ONE PRACTICE CAN CREATE A DOMINO EFFECT OF FAILURES, WITH THE POTENTIAL OF SEVERE FLOODING OF ADJACENT PROPERTIES.



LEGEND



STABILIZED STONE CONSTRUCTION ENTRANCE
NO SCALE

- NOTES:**
- (1) WIDTH SHALL EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION
 - (2) COURSE AGGREGATE SHALL BE 2-4 INCH STONE FOR LOW VOLUME ENTRANCES OR 4-6 INCH STONE FOR HEAVY USE OR MATERIAL DELIVERY ENTRANCES.

- MAINTENANCE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 2. WHEELS ON ALL VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCES ONTO PUBLIC RIGHTS-OF-WAY.
 3. INSPECTION AND NEEDED MAINTENANCE SHOULD BE PROVIDED DAILY BUT AT A MINIMUM EVERY SEVEN DAYS AND AFTER EVERY RAIN OF 0.5 INCH OR GREATER.

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