



MORGANTOWN BOARD OF ZONING APPEALS

February 17, 2016
6:30 PM
City Council Chambers

Board Members:

Leanne Cardoso, Chair
Bill Burton, Vice-Chair
George Papandreas
Jim Shaffer
Linda Herbst

COMBINED STAFF REPORT

CASE NOS: CU16-02 / V16-03 / V16-04 / V16-07
AutoZone Parts, Inc. / 824 Monongahela Blvd

REQUEST and LOCATION:

Requests for conditional use and variance relief by Jeff Berneburg of McIlvried, DiDiano & Mox, LLC, on behalf of AutoZone Parts, Inc, for the following petitions:

- Agenda Item F CU16-02 – conditional “Automotive Supply” use approval.
- Agenda Item G V16-03 – Front setbacks.
- Agenda Item H..... V16-04 – Parking lot landscape requirements.

Request for relief by Briana Buss of Jones Sign, on behalf of AutoZone Parts, Inc., for the following variance petition:

- Agenda Item I V16-07 – Signage.

TAX MAP NUMBER(s) and ZONING DESCRIPTION:

Tax Map 15, Parcel 157; B-2, Service Business District.

SURROUNDING ZONING:

North: R-3, Multi-Family Residential District
East and West: B-2, Service Business District
South: I-1, Industrial District

BACKGROUND and ANALYSIS:

The petitioner seeks to raze and remove the existing structures occupied by the *Exxon Service Station* and *U-Haul* Rental establishments to construct an *AutoZone* establishment at 824 Monongahela Blvd. Addendum A of this report illustrates the location of the subject development site.

The follow summary details the proposed development program.

- One (1) 6,816 square foot building.
- Twenty-six on-site parking spaces with direct access onto Monongahela Blvd.
- Two (2) wall signs and one replacement post and panel sign.

CU16-02 – Conditional Use

Table 1331.05.01 “Permitted Land Uses” provides that “Automotive Supply” uses requirement conditional use approval in the B-2 District. An *Advance Auto Parts* establishment is currently located on the realty adjoining the subject development site.

Development Services

Christopher Fletcher, AICP
Director

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431



MORGANTOWN BOARD OF ZONING APPEALS

February 17, 2016
6:30 PM
City Council Chambers

Board Members:

Leanne Cardoso, Chair
Bill Burton, Vice-Chair
George Papandreas
Jim Shaffer
Linda Herbst

V16-03 – Setbacks and Encroachments

The following table identifies B-2 District setback requirements set forth in Article 1347.04, the petitioner’s corresponding proposed setbacks, and required variances.

Setback Standard	Requirement	Proposed	Required Variance
Minimum Front	15 feet	10 feet	5 feet

V16-04 – Parking Lot landscape

Article 1367.08 requires interior landscape areas in the parking area, which have not been provided by the petitioner. A variance is required to proceed without the use of landscape areas in the parking lot.

V16-07 – Signage

The petitioner is seeking a replacement post and panel sign with new facing at a higher elevation within the sign structure, and two wall signs.

Article 1369.07 requires that post and panel signs not exceed (a) six (6) feet in height, and (b) thirty-two (32) square feet in area. The proposed sign is taller than six feet and has a face area of 62.07 square feet.

Article 1369.07(l)(1) requires that the total area of all wall signs on a building shall not exceed 0.6 square feet of wall sign area per linear foot of tenant building frontage in the B-5, B-2, and I-1 districts. The building’s frontage is approximately seventy-two (72) feet in length, allowing for 43.2 square feet of total wall sign area. The petitioner is seeking 151.68 square feet area of wall signage for a variance of 108.48 square feet of wall sign area.

Staff recommends that the Board, without objection from members of the Board, the petitioner, or the public, combine the public hearings for the conditional use and three (3) variance petitions presented herein. However, each respective petition must be considered and acted upon by the Board separately.

STAFF RECOMMENDATION:

It is the duty of the Board of Zoning Appeals to determine whether the proposed requests meet the standard criteria for a conditional use or variance, respectively, by reaching a positive determination for *each* of the “Findings of Fact” submitted by the petitioner. If the Board disagrees with the petitioner’s “Findings of Fact” and determines the proposed request does not meet the standard criteria for a conditional use or variance, respectively, than the Board must state findings of fact and conclusions of law on which it bases its decision to deny the subject petition. [See WV State Code 8A-8-11(e) and 8A-7-11(b)].

Again, each respective conditional use and variance petition must be considered and acted upon by the Board separately.

Development Services

Christopher Fletcher, AICP
Director

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431



MORGANTOWN BOARD OF ZONING APPEALS

February 17, 2016
6:30 PM
City Council Chambers

Board Members:

- Leanne Cardoso, Chair
- Bill Burton, Vice-Chair
- George Papandreas
- Jim Shaffer
- Linda Herbst

Staff submits the following recommendations for each petition addressed herein:

Agenda Item F CU16-02 – Conditional “Automotive Supply” Use.

The Board of Zoning Appeals must determine whether the proposed request meets the standard criteria for a conditional use by reaching a positive determination for *each* of the “Findings of Fact” submitted by the petitioner.

Addendum B of this report provides the petitioner’s findings of fact, for Agenda Item F. No recommended revisions to the petitioner’s findings of fact are submitted by Staff.

Staff recommends that the conditional “Automotive Supply” use be approved as requested, per the findings of facts provided in Addendum B.

Agenda Item G V16-03 – Front setbacks.

The Board of Zoning Appeals must determine whether the proposed request meets the standard criteria for a variance by reaching a positive determination for *each* of the “Findings of Fact” submitted by the petitioner.

Addendum B of this report provides the petitioner’s findings of fact, for Agenda Item G. No recommended revisions to the petitioner’s findings of fact are submitted by Staff

Staff recommends that a five-foot (5’) variance be granted from the minimum front setback standard for Parcel 157; Tax Map 15 as requested with the condition that side and rear setback standards must be observed for the development.

Agenda Item H V16-04 – Parking lot landscape requirements.

The Board of Zoning Appeals must determine whether the proposed request meets the standard criteria for a variance by reaching a positive determination for *each* of the “Findings of Fact” submitted by the petitioner.

Addendum B of this report provides the petitioner’s findings of fact, for Agenda Item H. No recommended revisions to the petitioner’s findings of fact are submitted by Staff.

Staff recommends that the parking lot landscape requirements variance be granted with the condition that landscaping occur only to the degree that the minimum parking requirement can still be met.

Agenda Item I V16-07 – Signage.

The Board of Zoning Appeals must determine whether the proposed request meets the standard criteria for a variance by reaching a positive determination for *each* of the “Findings of Fact” submitted by the applicant.

Development Services

Christopher Fletcher, AICP
Director

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431



MORGANTOWN BOARD OF ZONING APPEALS

February 17, 2016
6:30 PM
City Council Chambers

Board Members:

Leanne Cardoso, Chair
Bill Burton, Vice-Chair
George Papandreas
Jim Shaffer
Linda Herbst

Addendum B of this report provides the petitioner's findings of fact, for Agenda Item I. No recommended revisions to the petitioner's findings of fact are submitted by Staff.

As is typically performed for sign variance petitions, no recommendation is submitted by Staff concerning whether or not variance relief should be granted. However, should the Board decide to grant variance relief, Staff does not recommend conditions be included with variance approval.

Attachments: Application and accompanying exhibits

Development Services

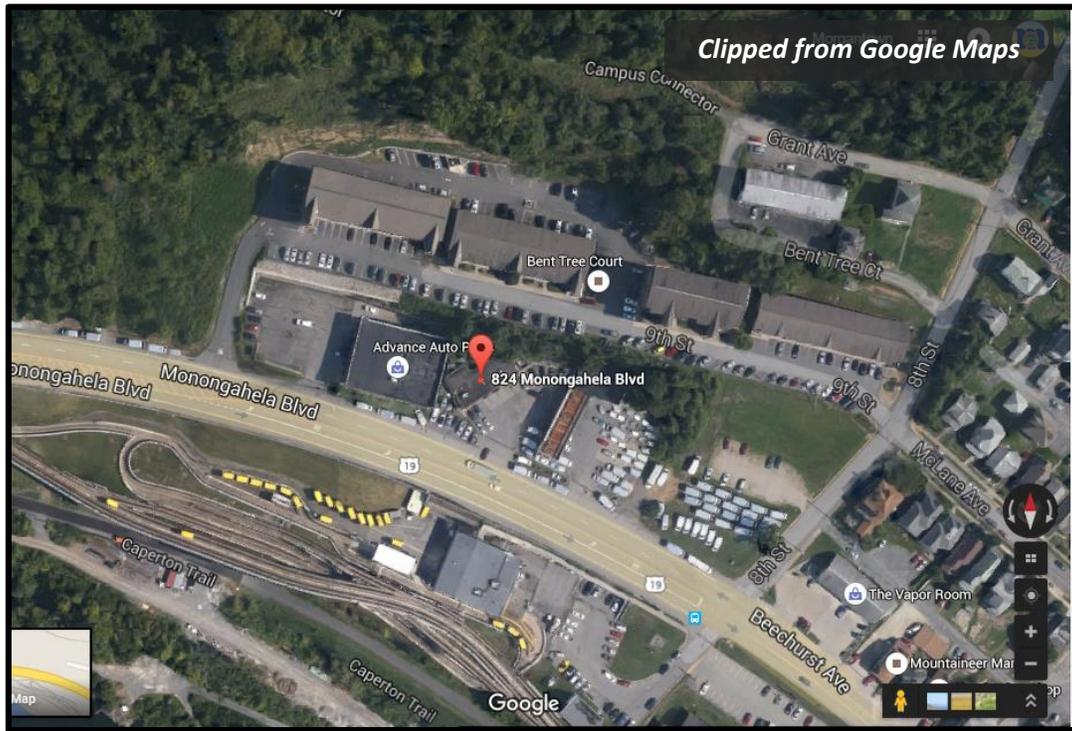
Christopher Fletcher, AICP
Director

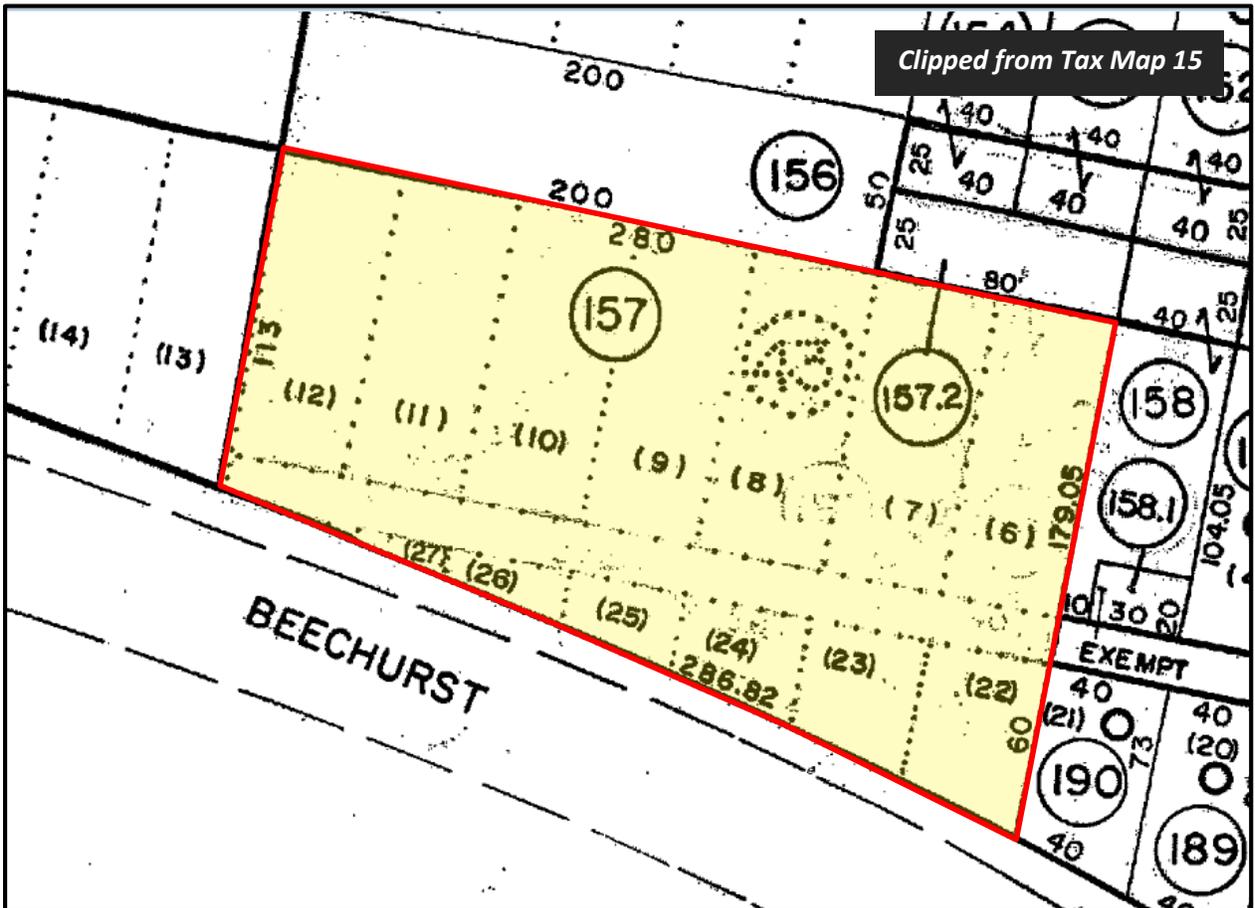
Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431

COMBINED STAFF REPORT ADDENDUM A

CU16-02, V16-03, V16-04 & V16-07 / AutoZone Parts, Inc. / 824 Monongahela Blvd.





COMBINED STAFF REPORT ADDENDUM B

CU16-02, V16-03, V16-04 & V16-07 / AutoZone Parts, Inc. / 824 Monongahela Blvd.

The following restates the petitioner's Findings of Fact responses.

Case No. CU16-02 Automotive Supply

Finding of Fact No. 1 – Congestion in the streets is not increased, in that:

The site redevelopment for the AutoZone Store will involve the demolition of all existing structures on site. Site access to Monongahela Boulevard will be improved by closing the Two (2) existing driveways and Constructing one (1) new 30' – 0" wide full access driveway to Monongahela Boulevard per WV. D.O.T. requirements. This new driveway & site layout will improve on site vehicle circulation & provide better highway access to Monongahela Boulevard for the new AutoZone Store.

Finding of Fact No. 2 – Safety from fire, panic, and other danger is not jeopardized, in that:

The site for AutoZone will have only one (1) 6,816 – Sq. Ft. single story masonry structure for the retail sale of Auto Parts. Parking will be provided for 26 new parking spaces and no on-site work on vehicles will be provided by AutoZone.

Finding of Fact No. 3 – Provision of adequate light and air is not disturbed, in that:

AutoZone will be providing two (2) on-site lot light poles as noted on the Site Photometric Lighting Plan Sheet PH1.0. Lot lighting will be directional on site lighting that is timer controlled to turn off outside lot Lighting within approximately one hour after store closing hours.

Finding of Fact No. 4 – Overcrowding of land does not result, in that:

One single-story AutoZone Store structure, 6,816 Sq. Ft. is proposed along with providing 26 parking spaces as required with a 14' X 60' loading area located to the northern side of the building and associated site/landscaping improvements. More green space is provided than what currently exists is on-site.

Finding of Fact No. 5 – Undue congestion of population is not created, in that:

The proposed AutoZone Store will not generate any undue congestion of population for the retail sales of auto parts. AutoZone will provide new employment opportunities on an average of 12-15 new employee positions for the AutoZone store.

Finding of Fact No. 6 – Granting this request will not create inadequate provision of transportation, water, sewage, schools, parks, or other public requirements, in that:

The granting of this request will not create any inadequate provisions of transportation, water, sewage, schools, parks or other public requirements in that AutoZone is improving access to the site with the removal of the two existing driveways and providing a new driveway access to Monongahela Boulevard to improve customer access and site circulation.

Finding of Fact No. 7 – Value of buildings will be conserved, in that:

The existing two structures and fuel canopy from the gas service island will be demolished and disposed of per applicable disposal requirements. The site will be cleared of all remaining existing improvements, thus improving the value of the site.

Finding of Fact No. 8 – The most appropriate use of land is encouraged, in that:

With the site redevelopment project that AutoZone is proposing it will offer significant improvements to the value of the property and improve the general safety concerning customer access on and off of the site via the new driveway improvements as well as improving the sidewalks along Monongahela Boulevard fronting the property.

Case No. V16-03 Front Setback Encroachment

Finding of Fact No. 1 – The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

The variance being requested from the minimum building setback requirements from Monongahela Boulevard is due to the steep grading to the Northern side of this property. The grading proposed from the northern AutoZone Store parking lot area to the northern property line has an approximately elevation difference of 21 feet. Retaining walls are proposed with this site redevelopment project to get the building moved as far back as possible to meet the intent of this setback requirement.

Finding of Fact No. 2 – The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

The existing grading prohibits the building to be moved any further to the north to avoid any further encroachment into the building setback line as provided.

Finding of Fact No. 3 – The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:

With the granting of this variance it will permit the proposed use of the property to be redeveloped with minimal encroachment that will keep within in the reasonable use of the neighborhood.

Finding of Fact No. 4 – The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

This variance if granted will allow the intent of the ordinance to be observed and will not have any adverse impact to the property or neighboring properties.

Case No. V16-04 Parking Lot Landscape Requirements

Finding of Fact No. 1 – The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

Clear and unobstructed internal truck circulation is needed for the weekly delivery of merchandise for the AutoZone delivery truck. Providing the Terminal Islands within the parking lot areas will prohibit the unobstructed circulation needed for the AutoZone's delivery truck. Variance relief is being requested to not provide the required Interior Landscape Areas and Terminal Islands in an effort to provide clear and unobstructed circulation. To permit the travel circulation within the parking lot area that is needed for the delivery truck the request for these variances are requested. The variance relief being requested will not have any impact to the general public health, safety or welfare of the adjacent property owners will not be impacted.

Finding of Fact No. 2 – The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

Due to the irregular shape of the property it creates a narrow site to the west that restricts a full developed area as is available to the eastern side of the property, thus creating the need for these variances being requested.

Finding of Fact No. 3 – The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:

The granting of the landscape variances being requested will permit the unobstructed truck travel on-site for the weekly delivery and restocking of merchandise.

Finding of Fact No. 4 – The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

The variances being requested will allow the intent of the ordinance be observed with the amount of green space being provided that is currently not provided with existing site conditions.

Case No. V16-07 Signage

Finding of Fact No. 1 – The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

The proposed sign package in this variance request will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, but rather it will enhance AutoZone's corporate identity to consumers. It is also a way for AutoZone to stay competitive with businesses offering the same services. AutoZone is going into a location which is located along a highly traveled road so the proposed signs for the location would not be a detriment to the surrounding property owners or residents, but rather well-suited because of the route and the surrounding businesses in the area. The wall signage will be aesthetically pleasing and will have consistent letter height on the building elevations. The post and panel sign will not be overbearing and will complement the size of the building and the lot. The signs will comply with the requirements of the West Virginia State Building Code and Electrical Code.

Finding of Fact No. 2 – The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

The need for the requested variances arises from the size, location, and zoning of the property. In order for AutoZone to be able to be competitive at this location, sufficient signs on two (2) elevations of the building are necessary to draw attention to the site. The literal enforcement of the sign regulations will create a hardship for AutoZone with a lack of recognition by passing customers, hence loss in anticipated sales. In regard to the existing post and panel sign, the property is zoned B-2, and according to the Planning & Zoning Code, Table 1369.06.01, post and panel signs are permitted in the B-2 district. We are requesting a variance to keep the existing Exxon Mobil post and panel sign because there is a lack of visibility if customers are coming from the west. View of the majority of AutoZone's site is blocked by Advanced Auto Parts' building. The property is also located directly to the west of an area zoned B-2 with an overlay district, where multiple businesses have post and panel or

pole signs taller than the standard 6 foot height allowance. These businesses include Double Dutch Confections, Mountaineer Manor Barbering & Styling, and Clutch Wing Shop, among others. AutoZone's sign will be in line with what some nearby businesses have. When Exxon closed, the post and panel sign was not removed. While U-Haul was conducting business at this property, the sign remained in place. The setback and under clearance is adequate to protect the clear sight for drivers.

Finding of Fact No. 3 – The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:

Granting of the variance for the proposed sign package will allow AutoZone to keep the existing Exxon Mobil post and panel sign, which will be visible above Advanced Auto Parts building located to the west of AutoZone's property. Allowance of that sign will ensure visibility for customers coming from the west of the property, and the requested wall signs will help customers recognize the new AutoZone store and there will be no loss of anticipated sales. The retail auto parts store is allowed in the B-2 zoning district and will contribute to a growing economy in Morgantown.

Finding of Fact No. 4 – The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

The purposes of the City's commercial sign regulations are, in summary: to encourage the effective use of signs as a means of communication; to maintain and enhance the pleasing look of the City, which attracts continued economic investment to the City; to preserve Morgantown as a community that is attractive to business, to residents and to visitors; and to minimize the possible adverse effects of signs on nearby public and private property. The sign variances will allow the intent of the zoning ordinance to be observed and substantial justice done because AutoZone's store will be visible and the signage will be effective, aesthetically pleasing, in good taste, and will attract more customers to this specific area in the City.



City of Morgantown, West Virginia

APPLICATION FOR TYPE IV SITE PLAN – CONDITIONAL USE

OFFICE USE
CASE NO. <i>CU16-02</i>
RECEIVED:
COMPLETE:

(PLEASE TYPE OR PRINT IN BLACK INK)

75.00

ck 875469

I. APPLICANT			
Name:	AutoZone Parts, Inc.	Phone:	901-495-8771
Mailing Address:	Jeff Kauerz, AutoZone, Pre-Construction Specialist	Mobile:	
	Street 123 South Front Street	Email:	Jeff.kauerz@autozone.com
	City Memphis State TN. Zip 38103		
II. AGENT / CONTACT INFORMATION			
Name:	Jeff Berneburg / Project Manager	Phone:	724-934-2810, x-12
Mailing Address:	Mcllvried, DiDiano & Mox, LLC	Mobile:	
	Street 8851 Kind Drive	Email:	jberneburg@mdmllc.com
	City Pittsburgh State PA. Zip 15237		
Mailings –	Send all correspondence to (check one): <input type="checkbox"/> Applicant OR <input checked="" type="checkbox"/> Agent/Contact		
III. PROPERTY			
Owner:	J.A. Oil, LLC.	Phone:	304-943-5831
Mailing Address:	C/O Alex Solomin	Mobile:	
	Street 3114 North Greystone Drive	Email:	lakeco@comcast.net
	City Morgantown State WV. Zip 26508		
IV. SITE			
Street Address (if assigned):	824 Monongahela Boulevard	Tax Map #:	15
		Parcel #:	0157-000
Zoning:	B-2 (Service Business District)		
Lot Dimensions:	Width: 285.83 Ft.	Depth: 179.05 Ft.	Square Footage: 41,309.57 ft. ²
Shape of Lot:	<input type="checkbox"/> Corner <input type="checkbox"/> Interior <input type="checkbox"/> Through <input type="checkbox"/> Flag <input checked="" type="checkbox"/> Irregular <input type="checkbox"/> Non-conforming		
Existing Use of Structure or Land:	Existing Exxon / U-Haul Rental Facility		
Proposed Use of Structure of Land:	AutoZone Retail Auto Parts Store, Store No.# 6736 Single Story 6,816 Sq.Ft. Masonry Structure for the retail sales of auto parts.		



APPLICATION FOR
TYPE IV SITE PLAN – CONDITIONAL USE

OFFICE USE
CASE NO. <u>CUI16-02</u>
RECEIVED:
COMPLETE:

V. STRUCTURE

Proposed Setbacks: Front: 10' - 0" ft. Rear: 48' - 4" ft. Side A: 33' - 0" ft. Side B: 175' - 0" ft.

Proposed Height of Structure: 19' - 0" No. of Proposed Off-Street Parking Spaces: No. of 26

Dwelling Units (if applicable): None No. of Bedrooms: None No. of Employees: Seven (7)

Square Footage of all Proposed Structures (please explain): 6,816 Sq.Ft. Total G.F.A.

VI. SITE PLAN

A Site Plan (8 copies), drawn to scale, that includes the following elements must accompany the application if not provided above in Sections IV and V:

- (a) The actual dimensions, size, square footage, and shape of the lot to be built upon as shown on an actual survey by a registered design professional licensed by the State of West Virginia.
- (b) The exact sizes and locations on the lot of existing structures, if any;
- (c) The location, square footage, and dimensions of the proposed structure or alteration;
- (d) The location of the lot with respect to adjacent rights-of-way;
- (e) The existing and proposed uses of the structure and land;
- (f) The number of employees, families, housekeeping units, bedrooms, or rental units the structure is designed to accommodate;
- (g) The location and dimensions of off-street parking and means of ingress and egress for such space;
- (h) Height of structure;
- (i) Setbacks;
- (j) Buffer yard and screening, if applicable;
- (k) Location of garbage collection area and screening;
- (l) Location of existing and/or proposed signs, if applicable; (m) Roadway typical detail for internal roadways, if applicable;
- (n) Location and size of stormwater management facilities; and,
- (o) Utility lines and easements, if applicable.



APPLICATION FOR
TYPE IV SITE PLAN – CONDITIONAL USE

OFFICE USE
CASE NO. <i>C116-02</i>
RECEIVED:
COMPLETE:

VII. SUPPLEMENTAL PLANS AND EXHIBITS

Applicants MUST also submit the following plans and exhibits, unless waived by the Planning Director:

- (a) Drainage plan and drainage calculations that bear the name, address, signature and seal of a registered professional engineer licensed by the State of West Virginia, with floodplain zones clearly denoted, a typical of all swales, and a design of the drop inlets.
- (b) If applicable, design of stormwater management facilities and drainage calculations that bear the name, address, and seal of a registered professional engineer licensed by the State of West Virginia that meet the requirements of the City Zoning Ordinance, the City Stormwater Management Ordinance, and all other applicable local, state and federal regulations.
- (c) Parking and Landscaping Plan
- (d) Sign Plan
- (e) Approved WV Division of Highways Access Permit, if applicable
- (f) Sediment and erosion control plan as approved by the West Virginia Department of Environment Protection and the City of Morgantown
- (g) Approved State of West Virginia NPDES General Permit for Storm Water Associated with Industrial (Construction) Activity, if applicable
- (h) A traffic impact study, if required by the City Engineer
- (i) The Planning Director may require the applicant to submit additional information concerning the lot or neighboring lots to determine conformance with, and provide for the enforcement of, the City Zoning Ordinance.
- (j) The Planning Director may require the applicant to submit, in the case of accessory structures or minor additions, dimensions shown on plans relating to the size of the lot and the location of the structure(s) thereon be based on an actual survey prepared a registered design professional licensed by the State of West Virginia.

Applicants submitting a conditional use application in accordance with Article 313.05 "Building Height and Use" within the B-4 General Business District MUST also submit the following analyses:

- (a) An air flow analysis conducted by a licensed architect or profession engineer, describing the estimated impact of the proposed building on existing patterns of air flow in the general vicinity; and how those impacts may affect existing properties with a 300 foot radius of the site.
- (b) An analysis of the impacts of the proposed building on sunlight distribution in the general vicinity, with special emphasis on predicting light blockage and shadow casting onto all properties with a 300 foot radius of the site. Such analysis shall be conducted by a licensed architect or professional engineer.
- (c) An analysis of the potential of "stepping back" upper floors as a technique to avoid negative impacts with respect to light and airflow, and to minimize the canyon effect of non-recess tall buildings. Such analysis shall be conducted by a licensed architect or professional engineer.
- (d) An infrastructure and traffic analysis predicting the impacts of the building on water, sewer, drainage, electrical and gas infrastructure, on transportation levels of service (including transit) for impacted streets, and on fire suppression capabilities of the city. Such analysis shall be conducted by a licensed architect or professional engineer.



APPLICATION FOR
TYPE IV SITE PLAN – CONDITIONAL USE

OFFICE USE
CASE NO. <i>C116-02</i>
RECEIVED:
COMPLETE:

VIII. FINDINGS OF FACT

The Board of Zoning Appeals may grant the request only if each of the Conditional Use Findings of Fact Criteria is determined to be in the positive. Applicants must give their own responses to the criteria statements provided below.

This Conditional Use is within the fitting character of the surrounding area and is consistent with the spirit, purpose, and intent of the Zoning Ordinance, because,

1. Congestion in the streets is not increased, in that:

The site redevelopment for the AutoZone Store will involve the demolition of all existing structures on site. Site access to Monongahela Boulevard will be improved by closing the Two (2) existing driveways and Constructing one (1) new 30'-0" wide full access driveway to Monongahela Boulevard per WV. D.O.T. requirements. This new driveway & site layout will improve on site vehicle circulation & provide better highway access to Monongahela Boulevard for the new AutoZone Store.

2. Safety from fire, panic, and other danger is not jeopardized, in that:

The site for AutoZone will have only one (1) 6,816 - Sq.Ft. single story masonry structure for the retail sale of Auto Parts. Parking will be provided for 26 new parking spaces and no on-site work on vehicles will be provided by AutoZone.

3. Provision of adequate light and air is not disturbed, in that:

AutoZone will be providing two (2) on-site lot light poles as noted on the Site Photometric Lighting Plan Sheet PH1.0. Lot lighting will be directional on site lighting that is timer controlled to turn off outside lot Lighting within approximately one hour after store closing hours.

4. Overcrowding of land does not result, in that:

One single story AutoZone Store structure, 6,816 Sq. Ft. is proposed along with providing 26 parking spaces As required with a 14' x 60' loading area located to the northern side of the building and associated site/landscaping improvements. More green space is provided than what currently exists is on-site.

5. Undue congestion of population is not created, in that:

The proposed AutoZone Store will not generate any undue congestion of population for the retail sales of auto parts. AutoZone will provide new employment opportunities on an average of 12-15 new employee positions for the AutoZone store.



OFFICE USE	
CASE NO.	C111e-02
RECEIVED:	
COMPLETE:	

APPLICATION FOR
TYPE IV SITE PLAN – CONDITIONAL USE

VIII. FINDINGS OF FACT (cont.)

5. Granting this request will not create inadequate provision of transportation, water, sewage, schools, parks, or other public requirements, in that:

The granting of this request will not create any inadequate provisions of transportation, water, sewage, schools, parks or other public requirements in that AutoZone is improving access to the site with the removal of the two existing driveways and providing a new driveway access to Monongahela Boulevard to improve customer access & site circulation.

6. Value of buildings will be conserved, in that:

The existing two structures and fuel canopy from the gas service island will be demolished and disposed of per applicable disposal requirements. The site will be cleared of all remaining existing improvements to then construct a new AutoZone Retail Auto Parts Store with associated site improvements, thus improving the value of the site.

8. The most appropriate use of land is encouraged, in that:

With the site redevelopment project that AutoZone is proposing it will offer significant improvements to the value of the property and improve the general safety concerning customer access on and off of the site via the new driveway improvements as well as improving the sidewalks along Monongahela Boulevard fronting the property.

IX. ATTEST

I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions.

Jeff Berneburg, Agent for AutoZone

12-21-2015

Type/Print Name of Applicant/Agent

Signature of Applicant/Agent

Date

- Conditional Use Petition Fee of \$75 must accompany application.



City of Morgantown, West Virginia

APPLICATION FOR VARIANCE PETITION

OFFICE USE	
CASE NO.	V116-03
RECEIVED:	

CL 875769

Fee: \$75

(PLEASE TYPE OR PRINT IN BLACK INK)

I. APPLICANT		Name:	AutoZone Parts, Inc.		
Mailing Address:		Mr. Jeff Kauertz, AutoZone		Phone:	901-495-8771
	Street	123 South Front Street		Mobile:	
	City	Memphis	State	TN.	Zip
				Email:	jeff.kauertz@autozone.com
II. PROPERTY		Street Address:	824 Monongahela Boulevard		
Owner:	J.A. Oil, LLC.		Zoning:	B-2	
Mailing Address:		C/O Mr. Alex Solomon		Tax Map No:	15-0157
	Street	3114 Greystone Drive		Parcel No:	15-0157
	City	Morgantown	State	West Virginia	Zip
			Phone:	304-943-5831	
III. NARRATIVE		Please describe the nature and extent of your variance request(s).			
<p>Variance application is made for variance relief from Article 1347.01 – Permitted Uses (B-2 District) (A)(1) Minimum front setback is 15 feet. The 10 feet proposed will require variance relief from the BZA in the B-2 District.</p> <p style="text-align: center;">PAID PAID JAN 05 2016 PAID</p>					
V. ATTEST		BY: _____			
<p>I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a variance does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions. I hereby authorize the Development Services Department to erect a notification sign on the subject property approximately 15 days prior to the BZA hearing. I further agree to maintain said signage and hereby accept responsibility in case of destruction or removal.</p>					
Jeff Berneburg, Agent for AutoZone				12/10/2015	
Type/Print Name of Applicant/Agent		Signature of Applicant/Agent		Date	

You or a representative **MUST** be present at the scheduled hearing to present the request and answer questions. Failure to appear at the hearing will result in your request being tabled.



City of Morgantown, West Virginia

APPLICATION FOR VARIANCE PETITION

OFFICE USE	
CASE NO.	V116-03
RECEIVED:	

VI. SUPPLEMENTAL INFORMATION

Depending on the type of variance request and the scale and scope of the development proposal, supplemental information may be needed to assist the Board of Zoning Appeals in rendering a variance decision. Staff will check the appropriate boxes below that must be addressed.

[X] Land Use Characteristics (complete only those that apply)

- Residential Single-Family Dwelling Townhouse Dwelling
- Two-Family Dwelling Multi-Family Dwelling

[X] Non-Residential or Mixed (please explain)

AutoZone is proposing site redevelopment for a 6,816 Sq.Ft. single story masonry building with associated site improvements per the City of Morgantown requirements for the retail sales of auto parts.

[] Structure Characteristics (complete only those that apply)

Total number of buildings: One (1) Gross floor area of each building: 6,816 Sq.Ft.

Estimated number of employees: 7 No. of dwelling units: 0 No. of bedrooms: 0

Additional structure-related details:

[] Additional Information (as required by Staff):

[X] Site Plan. A scaled site plan may be required to assist the Board in rendering a variance decision. The following features must be represented, as required by Staff.

- Location, shape, exterior dimensions, and number of stories of each building on the site.
- Standard yard setbacks for the applicable zoning district
- Location, grade, and dimensions of paved surfaces, and all abutting streets
- Existing and proposed contours, at an interval of at least two (2) feet
- Complete traffic circulation plan showing dimensions, entrance/exit drives, planters, and similar improvements
- Location of landscaped areas (to be detailed on landscape plan), fences, walls, and other screen required



City of Morgantown, West Virginia

**APPLICATION FOR
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V116-03
RECEIVED:	

VII. FINDINGS OF FACT

COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.

The Board of Zoning Appeals may grant a variance request only if each of the following "Findings of Fact" criteria is determined to be in the positive. Applicants must give their own responses to the following criteria statements.

1. The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

The variance being requested from the minimum building setback requirements from Monongahela Boulevard is due to the steep grading to the northern side of this property. The grading proposed from the northern AutoZone Store parking lot area to the northern property line has an approximately elevation difference of 21 feet. Retaining walls are proposed with this site redevelopment project to get the building moved as far back as possible to meet the intent of this setback requirement.

2. The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

The existing grading prohibits the building to be moved any further to the north to avoid any further encroachment into the building setback line as provided.



City of Morgantown, West Virginia

**APPLICATION FOR
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V116-03
RECEIVED:	

VII. FINDINGS OF FACT	COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.
<p>3. The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:</p> <p>With the granting of this variance it will permit the proposed use of the property to be redeveloped with minimal encroachment that will keep within in the reasonable use of the neighborhood.</p>	
<p>4. The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:</p> <p>This variance if granted will allow the intent of the ordinance to be observed and will not have any adverse impact to the property or neighboring properties.</p>	



City of Morgantown, West Virginia

APPLICATION FOR VARIANCE PETITION

OFFICE USE	
CASE NO.	V116-04
RECEIVED:	

(PLEASE TYPE OR PRINT IN BLACK INK)

OK 875769
Fee: \$75

I. APPLICANT		Name: AutoZone Parts, Inc.	
Mailing Address:	Mr. Jeff Kauertz, AutoZone		Phone: 901-495-8771
	Street	123 South Front Street	Mobile:
	City	Memphis State TN Zip 38103	Email: jeff.kauertz@autozone.com
II. PROPERTY		Street Address: 824 Monongahela Boulevard	
Owner:	J.A. Oil, LLC.	Zoning:	B-2
Mailing Address:	C/O Mr. Alex Solomon		Tax Map No: 15-0157
	Street	3114 Greystone Drive	Parcel No: 15-0157
	City	Morgantown State West Virginia Zip 26508	Phone: 304-943-5831
III. NARRATIVE		Please describe the nature and extent of your variance request(s).	
<p>Variance application for variance relief from Article 1367.08 – Parking Lot landscape requirements. Variance relief will be required if parking lot layout modifications to include interior landscape area(s) are not provided. Variance relief will be required if terminal islands are not planned as required.</p> <p style="text-align: center;">PAID BY: JAN 05 2016</p>			
V. ATTEST			
<p>I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a variance does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions. I hereby authorize the Development Services Department to erect a notification sign on the subject property approximately 15 days prior to the BZA hearing. I further agree to maintain said signage and hereby accept responsibility in case of destruction or removal.</p>			
Jeff Berneburg, Agent for AutoZone			12/10/2015
Type/Print Name of Applicant/Agent		Signature of Applicant/Agent	Date

You or a representative **MUST** be present at the scheduled hearing to present the request and answer questions. Failure to appear at the hearing will result in your request being tabled.



APPLICATION FOR VARIANCE PETITION

OFFICE USE table with CASE NO. (Vile-04) and RECEIVED:

VI. SUPPLEMENTAL INFORMATION

Depending on the type of variance request and the scale and scope of the development proposal, supplemental information may be needed to assist the Board of Zoning Appeals in rendering a variance decision. Staff will check the appropriate boxes below that must be addressed.

[X] Land Use Characteristics (complete only those that apply)

- Residential, Single-Family Dwelling, Townhouse Dwelling, Two-Family Dwelling, Multi-Family Dwelling

[X] Non-Residential or Mixed (please explain)

AutoZone is proposing site redevelopment for a 6,816 Sq.Ft. single story masonry building with associated site improvements per the City of Morgantown requirements for the retail sales of auto parts.

[] Structure Characteristics (complete only those that apply)

Total number of buildings: One (1) Gross floor area of each building: 6,816 Sq.Ft. Estimated number of employees: 7 No. of dwelling units: 0 No. of bedrooms: 0 Additional structure-related details:

[] Additional Information (as required by Staff):

[X] Site Plan. A scaled site plan may be required to assist the Board in rendering a variance decision. The following features must be represented, as required by Staff.

- Location, shape, exterior dimensions, and number of stories of each building on the site. Standard yard setbacks for the applicable zoning district. Location, grade, and dimensions of paved surfaces, and all abutting streets. Existing and proposed contours, at an interval of at least two (2) feet. Complete traffic circulation plan showing dimensions, entrance/exit drives, planters, and similar improvements. Location of landscaped areas (to be detailed on landscape plan), fences, walls, and other screen required.



APPLICATION FOR
VARIANCE PETITION

OFFICE USE	
CASE NO.	V116-04
RECEIVED:	

VII. FINDINGS OF FACT	COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.
<p>The Board of Zoning Appeals may grant a variance request only if each of the following "Findings of Fact" criteria is determined to be in the positive. Applicants must give their own responses to the following criteria statements.</p>	
<p>1. The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:</p> <p>Clear and unobstructed internal truck circulation is needed for the weekly delivery of merchandise for the AutoZone delivery truck. Providing the Terminal Islands within the parking lot areas will prohibit the unobstructed circulation needed for the AutoZone's delivery truck.</p> <p>Variance relief is being requested to not provide the required Interior Landscape Areas and Terminal Islands in an effort to provide clear and unobstructed circulation.</p> <p>To permit the travel circulation within the parking lot area that is needed for the delivery truck the request for these variances are requested. The variance relief being requested will not have any impact to to the general public health, safety or welfare of the adjacent property owners will not be impacted.</p> <p>Additionally the site redevelopment proposed for AutoZone will be improved with the closing of the two (2) existing driveways and with the construction of one (1) 30'- 0" wide low volume that will provide a safe full access driveway onto and off of the site per WV. D.O.T. requirements.</p>	
<p>2. The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:</p> <p>Due to the irregular shape of the property it creates a narrow site to the west that restricts a full developed area as is available to the eastern side of the property, thus creating the need for these variances being requested.</p>	



City of Morgantown, West Virginia

**APPLICATION FOR
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V16-04
RECEIVED:	

VII. FINDINGS OF FACT

COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.

3. The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:

The granting of the landscape variances being requested will permit the unobstructed truck travel on-site for the weekly delivery and restocking of merchandise.

4. The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

The variances being requested will allow the the intent of the ordinance be observed with the amount of green space being provided that is currently not provided with existing site conditions.



Site Development Plans For

Proposed

AutoZone Store #6736 824 Monongahela Boulevard City of Morgantown, County of Monongalia State of West Virginia

Applicant / Developer:

AutoZone Parts, Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103

Architect:

AutoZone Parts, Inc.
c/o: Lew Ellis
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103

Civil Engineer:

MDM
MCGILVRIED, DIDIANO, & MOX, LLC
Site Planners • Engineers • Surveyors
8851 Kind Drive
Pittsburgh, PA 15237
Ph.: (724) 934-2810 fax: (724) 934-2811
mdmcsd@mdmlc.com
www.mdmlc.com

PARKING REQUIREMENTS

TWO AND ONE HALF (2.5) PARKING SPACES REQUIRED PER 1,000 SF OF GFA, PLUS ONE (1) SPACE FOR EACH EMPLOYEE ON PEAK SHIFT, PLUS ONE (1) SPACE FOR EACH COMPANY-RELATED VEHICLE ON SITE.

6,816 SF OF GFA ÷ 1,000 SF = 6.816 × 2.5 = 17.04 = 17 SPACES REQUIRED
SEVEN (7) EMPLOYEES AT PEAK SHIFT = 7 SPACES REQUIRED
TWO (2) SMALL PICKUP TRUCKS USED FOR DELIVERIES = 2 SPACES REQUIRED
TOTAL SPACES REQUIRED = 26 SPACES REQUIRED

TOTAL SPACES PROVIDED = 26 SPACES PROVIDED

STALL SIZE: 8'-6" x 18'-0" REQUIRED
9'-0" x 18'-0" PROPOSED

LOADING SPACE: ONE (1) SPACE FOR 5,000 TO 60,000 SF

LOADING SPACE SIZE: 60'-0" x 14'-0" REQUIRED
60'-0" x 14'-0" PROPOSED

ZONING REQUIREMENTS

ZONING DISTRICT: B-2 (SERVICE BUSINESS DISTRICT)

AN AUTOMOTIVE SUPPLY ESTABLISHMENT IS A CONDITIONAL USE WITHIN THIS ZONING DISTRICT.

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	6,000 SF	41,309.57 SF (0.948 AC.)
MINIMUM LOT WIDTH	100'	122'-9"
MINIMUM FRONT YARD SETBACK	15'-0"	10'-0"
MAXIMUM FRONT YARD SETBACK	30'-0"	26'-6"
MINIMUM SIDE YARD SETBACK (20'-0" FROM ANY ACCESS DRIVE)	5'-0"	33'-0" (EAST) 175'-0" (WEST)
MINIMUM REAR YARD SETBACK	40'-0"	48'-4"
MAXIMUM BUILDING HEIGHT	72'-0"	19'-0"
MAXIMUM ACCESSORY STRUCTURE HEIGHT	20'-0"	8'-0"
MAXIMUM LOT COVERAGE (BUILDING ONLY)	60%	16.4%
MINIMUM LOT FRONTAGE	60'-0"	285'-10"
MINIMUM LOT DEPTH	100'-0"	148'-0"
MINIMUM FRONT YARD PARKING BUFFER	10'-0"	10'-11"
MINIMUM SIDE AND REAR YARD BUFFER	6'-0"	27'-10"
MINIMUM BUFFER YARD ABUTTING RESIDENTIAL DISTRICT*	10'-0"	27'-10"
ACCESSORY STRUCTURE SETBACK	10'-0"	28'-4"

*THIS REQUIREMENT MAY SUPERSEDE THE MINIMUM SETBACK REQUIREMENT FOR THE DISTRICT.

Contents:

CS	COVER SHEET
1 of 2	ALTA/ACSM LAND TITLE SURVEY
2 of 2	ALTA/ACSM LAND TITLE SURVEY
C1.0	SITE PLAN
C1.A	SITE DETAILS
C1.B	WVDOH DETAILS
C1.1	GRADING PLAN
C1.2	STORMWATER / UTILITY DETAILS
C1.3	EROSION & SEDIMENTATION CONTROL PLAN
C1.4	EROSION & SEDIMENTATION CONTROL DETAILS
D1.0	DEMOLITION PLAN
L1.0	LANDSCAPE PLAN
PH1.0	PHOTOMETRIC LIGHTING PLAN
TR1.0	TRUCK TURNING PLAN
U1.0	SITE UTILITY PLAN

LAND OWNER:

AUTOZONE PARTS, INC.
PROPERTY MANAGEMENT DEPT. 8700
123 SOUTH FRONT STREET
P.O. BOX 2198
MEMPHIS, TN 38103
(901) 495-8771

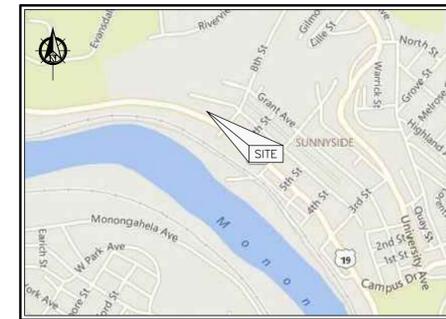
APPLICANT/DEVELOPER:

AUTOZONE PARTS, INC.
PROPERTY MANAGEMENT DEPT. 8700
123 SOUTH FRONT STREET
P.O. BOX 2198
MEMPHIS, TN 38103
(901) 495-8771

SURVEYOR/ENGINEER:

MCGILVRIED, DIDIANO, AND MOX, LLC
8851 KIND DRIVE
PITTSBURGH, PA 15237
(724) 934-2810
HOWARD MCGILVRIED, PLS., WV LIC. No. 2019
EUGENE DVORCHAK, PE., WV LIC. No. 15890

SITE LOCATION MAP



SCALE: 1"=1,000'

UTILITY SERVICE INFORMATION

SANITARY SEWER
MORGANTOWN UTILITY BOARD
278 GREENBAG ROAD
MORGANTOWN, WV 26508
(304) 292-8447 (X-114)
MR. BRIAN HINDMAN

GAS SERVICE
DOMINION HOPE GAS CO.
48 COLUMBIA BOULEVARD
CLARKSBURG, WV 26301
(304) 581-5680
MR. MIKE LANG

STORM SEWER
MORGANTOWN UTILITY BOARD
278 GREENBAG ROAD
MORGANTOWN, WV 26508
(304) 292-8447 (X-114)
MR. BRIAN HINDMAN

ELECTRIC SERVICE
MON POWER - FIRST ENERGY
237 HARTMAN ROAD
MORGANTOWN, WV 26505-5398
(304) 284-1235
MR. MARK LEHOSIT
D.R. # 738336313

WATER SERVICE
MORGANTOWN UTILITY BOARD
278 GREENBAG ROAD
MORGANTOWN, WV 26508
(304) 292-8447 (X-114)
MR. BRIAN HINDMAN

TELEPHONE SERVICE
FRONTIER COMMUNICATIONS
1108 NORTH MILDRED STREET
RANSON, WV 25438
(800) 921-8101
MR. CHRIS BLAINE

SURVEYOR'S CERTIFICATION

AutoZone Store #6736
824 Monongahela Boulevard

4th Ward, City of Morgantown, County of Monongalia, State of West Virginia
Certified To: AutoZone Parts, Inc. & First American Title Insurance Company

The undersigned certifies that to the best of his professional knowledge, information and belief, this map or plat and the survey on which it is based was made on the date shown below and was made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and ACSM in 2011; (ii) in accordance with the "Boundary and Topographical Survey Requirements" for AutoZone Parts, Inc., and includes items 1, 2, 3, 4, 5, 6, 7a), 8, 10, 11, 13 and 16-19 of Table A as specifically defined therein, and (iii) pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an urban survey.

Howard G. McIlvried
Registered Land Surveyor No. 2019
in the State of West Virginia
Date of Field Survey: September 2-3, 2015
Date of Last Revision: October 14, 2015
Project No. 6505

© COPYRIGHT 2009

Owner/Developer:

AutoZone Parts Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6736

824 MONONGAHELA BLVD.
CITY OF MORGANTOWN, COUNTY OF MONONGALIA
STATE OF WEST VIRGINIA

COVER SHEET

SCALE: AS NOTED

REVISIONS

1.
2.
3.
4.
5.
6.
7.
ARCHITECT:
DRAFTSMAN: BDB
CHECKED BY: CAD

DATE
11-11-15
PROTOTYPE SIZE
65w2-L

CS

ALTA/ACSM LAND TITLE SURVEY

Prepared for:

AutoZone Store #6736 824 Monongahela Boulevard 4th Ward, City of Morgantown, County of Monongalia State of West Virginia

NO.	DATE	DESCRIPTION	REVISIONS		
			INT.	B/C	B/C
1	10/11/15	ORIGINAL SUBMITTAL			
2	10/12/15	REVISED ZONING			
3	10/14/15	REVISED LEGEND			

MIDM
McILVRIED, DIDIANO, & MOX, LLC
Site Planners, Engineers, Surveyors
Pittsburgh, PA 15237
Ph.: (724) 934-2810 Fax: (724) 934-2811
www.midm.com

AutoZone Store #6736
824 Monongahela Boulevard
4th Ward, City of Morgantown, County of Monongalia
State of West Virginia
ALTA/ACSM LAND TITLE SURVEY

SCALE:
1"=20'
DATE:
10/14/15
DRAWN BY:
BJC
CHECKED BY:
HGM
SHEET NUMBER:
1 of 2
PROJECT NO. 6505

GENERAL NOTES

- Bearings shown hereon are based upon the bearings found in Deed Book 1566, Page 616 of the Monongalia County Clerk's Office.
- The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.
- Contour Interval = 1'. The elevations shown hereon are based upon GPS observations taken on September 2-3, 2015 and are to the North American Vertical Datum of 1988 (Geoid 12A).
- There was no observed evidence of current earth moving work, building construction or building additions.
- The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.
- There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.
- There are no delineated wetland areas located on the subject premises.
- Storm and sanitary sewers are connecting to a combined system per maps and information obtained from Morgantown Utility Board.

UTILITY SERVICE INFORMATION

Gas Service
Dominion Hope Gas
48 Columbia Blvd.
Clarksburg, WV 26301
(304) 625-6325
Mike Long

Storm Sewer
Morgantown Utility Board
278 Greenbag Road
Morgantown, WV 26507-0652
(304) 292-8443
Bryan Hindman

Water Service
Clinton Water
703 Greenbag Road
Morgantown, WV 26508
(304) 292-3088

Electric Service
First Energy
Chestnut Ridge Road
Morgantown, WV 26505
(304) 599-7953

Sanitary Sewer
Morgantown Utility Board
278 Greenbag Road
Morgantown, WV 26507-0652
(304) 292-8443
Bryan Hindman

Telephone Service
Frontier Communications
1108 N. Mildred Street
Ranson, WV 25438
(304) 724-1184
Chris Blaine

Cable TV Service
Comcast
15 Summer School Road
Morgantown, WV 26508
(412) 491-3798
Chris McKahan

ZONING INFORMATION

Zoning District - B-2 (Service Business District)
An Automotive Supply store is a conditional use within this zoning district.

Minimum Lot Area - 6,000 square feet
Minimum Lot Depth - 100 feet
Minimum Lot Frontage - 60 feet
Minimum Front Yard Setback - 15 feet
Maximum Front Yard Setback - 30 feet
Minimum Side Yard Setback - 5 feet one side; 20 feet on side of access drive
Minimum Rear Yard Setback - 40 feet
Maximum Building Height - 72 feet (Principal); 20 feet (Accessory)
Maximum Lot Coverage - 60%

Parking Formula - 2.5 spaces per 1,000 sq. ft. of gross floor area (GFA) and 1 space per employee

Zoning information was obtained from:
City of Morgantown Development Services Department
Office of Planning Services
Third Floor, Office 12
City Hall
389 Spruce Street
Morgantown, WV 26505
(304) 284-7431
Stacey

- Zoning Notes:**
- A subdivision or replat is not necessary in order to convey this property.
 - There are no striped parking spaces located at this site.
 - Review by the Planning Director and Zoning Board may be necessary for conditional use approval.

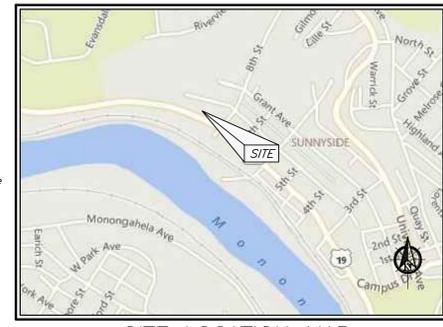
FLOOD ZONE NOTE

By graphic plotting only this site is located in Zone X of the Flood Insurance Rate Map, Community Panel No. 5401410114E, bearing an effective date of January 19, 2010 and is not in a special flood hazard area.

WV MISS UTILITY INFORMATION

Serial Number: 1523868331 (Dig)
Date of Inquiry: 08/26/2015
How Contacted: On-line

Company Name	All Clear	Response		
		His	Field	No
Water: MUB				
Gas: Dominion Hope				X
Telephone: Frontier Comm.	X		X	
Sanitary Sewer: MUB				X
Storm Sewer: MUB				X
Electric: FirstEnergy	X			
Electric: Morgantown Energy				X
Cable TV: Comcast	X			
Communication: Citynet				X



SITE LOCATION MAP
SCALE: 1"=1,000'

TITLE COMMITMENT LEGAL DESCRIPTION

Per First American Title Insurance Company Title Commitment No. NCS-735186-MICH.

All of the following lot or parcel of land, together with the improvements thereon, and appurtenances thereto belonging, situate, lying and being in the Fourth Ward of the City of Morgantown, Monongalia County, West Virginia, and being more particularly bounded and described as follows:

Beginning at a S. L. C. concrete marker, corner to Lot 21 and Lot 22 of Block 43 (as shown on the recorded plat of North Morgantown 1902 map); thence in a westerly direction with a curve to the left, radius 2070.23 feet, a distance on the arc of 286.82 feet to a 1-inch (dia.) iron pin corner, corner to S. L. C. right of way; thence in a northeasterly direction, crossing original (now abandoned) 15-foot alley and with original line between Lots 12 and 13 of Block 43, N. 17° 42' East 113 feet to a 1-inch (dia.) iron pin corner, (this corner being in the original southern property line of McLane Avenue, is a section of the Avenue now abandoned); thence with said south boundary of McLane Avenue, S. 72° 18' East 280.00 feet to a 1-inch (dia.) iron pin corner, corner Lot 5 and Lot 6 of Block 43 (the 80.00 feet or fronting of Lots 7 and 6 is not abandoned); thence S. 17° 42' West 179.05 feet, to the place of beginning.

SCHEDULE B - SECTION 2 ITEMS

- Per First American Title Insurance Company, Title Commitment No. NCS-735186-MICH, bearing an effective date of June 22, 2015.
- That certain easement dated August 30, 1961, from Humble Oil & Refining Company, a Delaware corporation, granting to Monongahela Power Company, of record in the Monongalia County Clerk's Office in Deed Book 601, at Page 276. THIS ITEM REFERS TO AN ELECTRIC EASEMENT OF UNSPECIFIED WIDTH. THE LOCATION OF THE ELECTRIC LINE REFERRED TO IN THIS EASEMENT DOCUMENT IS PLOTTED AND SHOWN HEREON. THIS DOCUMENT ALLOWS INGRESS AND EGRESS TO SAID LINE AND ALLOWS "THE RIGHT TO TRIM, CUT AND REMOVE TREES AND UNDERBRUSH AND OTHER OBSTRUCTIONS THAT ARE WITHIN 15 FEET OF ANY WIRE".
- That certain Ordinance from the City of Morgantown, vacating, abandoning, and annulling a 50' right-of-way extending along a portion of McLane Avenue, but reserving oil utility easements, dated September 15, 1992, of record in the Monongalia County Clerk's Office in Deed Book 1055, at Page 622. THE PORTION OF McLANE AVENUE TO BE VACATED AND ANNULLED AND THE 25' UTILITY EASEMENT RESERVATION ARE PLOTTED AND SHOWN HEREON, HOWEVER THEY DO NOT AFFECT THE SUBJECT PREMISES.
- That certain Memorandum of Lease Agreement dated September 18, 2001, between Alex Saloman (member of J A Oil Limited Liability Company) and The Lamar Companies, of record in the Monongalia County Clerk's Office in Deed Book 1220, at Page 659. THIS IS A LEASE DOCUMENT FOR AN OUTDOOR ADVERTISING STRUCTURE LOCATED ON THE SUBJECT PREMISES AND WAS GRANTED TO THE LAMAR COMPANY FOR A TERM OF 20 YEARS. THERE ARE NO SPECIFIC PLOTTABLE ITEMS CONTAINED IN THIS DOCUMENT.
- That certain Memorandum of Lease Agreement dated September 18, 2001, between Alex Saloman (member of J A Oil Limited Liability Company) and The Lamar Companies, of record in the Monongalia County Clerk's Office in Deed Book 1220, at Page 661. THIS IS A LEASE DOCUMENT FOR AN OUTDOOR ADVERTISING STRUCTURE LOCATED ON THE SUBJECT PREMISES AND WAS GRANTED TO THE LAMAR COMPANY FOR A TERM OF 20 YEARS. THERE ARE NO SPECIFIC PLOTTABLE ITEMS CONTAINED IN THIS DOCUMENT.
- By that certain Quit Claim Deed from Wally Reed Esso, Inc., a West Virginia corporation, dated March 5, 1993, of record in the Monongalia County Clerk's Office in Deed Book 1063, at Page 354, conveyed all of its remaining interest in and to the annulled street (50' right-of-way) to C & E Development, Inc., a West Virginia corporation. We enclose a copy of said deed. We also enclose a copy of the above described Ordinance vacating that portion of McLane Avenue. It does not appear that the subject property includes the annulled 50' right-of-way or McLane Avenue, even though the tax assessment lists Annulled Pt McLane Ave as a taxable part of the property. The annulled street is assessed in the name of C & E Development, Inc. incorporated. THIS DOCUMENT REFERS TO A PORTION OF VACATED RIGHT-OF-WAY GRANTED TO C&E DEVELOPMENT, INC., WHICH DOES NOT AFFECT THE SUBJECT PREMISES BUT IS PLOTTED AND SHOWN HEREON.
- An examination of the plat of survey dated June 2, 1961, prepared by Snyder & Wilson, Engineers, of record in the Monongalia County Clerk's Office in Deed Book 597, at Page 611 did not disclose matter(s) adverse to the title herein insured, other than those referenced above. THE PLAN PROVIDED AFFECTS THE SUBJECT PREMISES, HOWEVER, THERE ARE NO PLOTTABLE ITEMS CONTAINED IN THIS DOCUMENT.

STATEMENT OF ENCROACHMENTS

- A** Subject's building encroaches into the neighbor's property by 0.13 feet as shown.
- B** Subject's gravel area encroaches into the neighbor's property by 5.0 feet as shown.

AS-SURVEYED LEGAL DESCRIPTION

ALL THAT CERTAIN parcel or tract of land situate in the 4th Ward of the City of Morgantown, Morgan District, Monongalia County, West Virginia and being more particularly bounded and described as follows:

BEGINNING at a concrete monument found on the northerly right-of-way line of Monongahela Boulevard (a.k.a. US Route 19, WV State Route 7), on the line dividing Lot 21 and Lot 22 of Block 43, (as shown on the recorded plat of North Morgantown 1902 map);

THENCE following the northerly right-of-way line of Monongahela Boulevard in a westerly direction, passing through Lots 22 through 28, by a curve to the left, having a radius of 2,070.23 feet, an arc length of 285.83 feet and a chord that bears N 60°55'40" W for a distance of 285.61 feet to an iron pin with cap set on the line dividing Lots 28 & 13;

THENCE leaving the northerly right-of-way line of Monongahela Boulevard in a northeasterly direction, following the dividing line between Lots 28 & 13, crossing a now annulled 15 foot alley and following the dividing line between Lots 12 and 13, N 17°42'00" E, a distance of 122.73 feet to an iron pin with cap set on the southerly line of 9th Street (now annulled);

THENCE following the southerly line of 9th Street and the northerly line of Lots 12, 11, 10, 9, 8, 7 & 6, S 72°18'00" E, a distance of 280.00 feet to an iron pin with cap set on the line dividing line between Lots 5 & 6;

THENCE following the dividing line between Lots 5 & 6, crossing a now annulled 15 foot alley and following the dividing line between Lots 21 and 22, S 17°42'00" W, a distance of 179.05 feet to a concrete monument found at the POINT OF BEGINNING;

CONTAINING within said bounds 0.948 Acres (41,309.57 square feet).

Being the same parcel of land conveyed by deed to Wally Reed's Esso, Inc. by Exxon Corporation recorded in the Monongalia County Recorder of Deeds office in Deed Book 928, page 451.

SURVEYOR'S CERTIFICATION

AutoZone Store #6736
824 Monongahela Boulevard

4th Ward, City of Morgantown, County of Monongalia, State of West Virginia

Certified To: AutoZone Parts, Inc. & First American Title Insurance Company

The undersigned certifies that to the best of his professional knowledge, information and belief, this map or plat and the survey on which it is based was made on the date shown below and was made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and ACSM in 2011; (ii) in accordance with the "Boundary and Topographical Survey Requirements" for AutoZone Parts, Inc., and includes Items 1, 2, 3, 4, 5, 6, 7a), 8, 10, 11, 13 and 16-19 of Table A as specifically defined therein, and (iii) pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an urban survey.

Howard G. McIlvried
Registered Land Surveyor No. 2019
In the State of West Virginia
Date of Field Survey: September 2-3, 2015
Date of Last Revision: October 14, 2015
Project No. 6505

LEGEND OF SYMBOLS & ABBREVIATIONS

Contour Line	871
Water Line	W-W-W
Gas Line	G-G-G
Overhead Electric, Telephone & Cable Line	E/T/C
Overhead Cable Line	T-T-T
Overhead Electric Line	E-E-E
Overhead Electric & Telephone Line	E/T E/T
Underground Electric Line	UE-UE-UE
Underground Telephone & Electric Line	UE/T UE/T

Storm Sewer	----->
Sanitary Sewer	----->
Easements	----->
Setback Line	----->
Chain Link Fence	X-X-X
Wooden/Vinyl Fence	--- ---
Tree Line	~~~~~
Street Light	⊙
Iron Pin Found	⊙
Iron pin w/cap set (Unless otherwise noted)	⊙

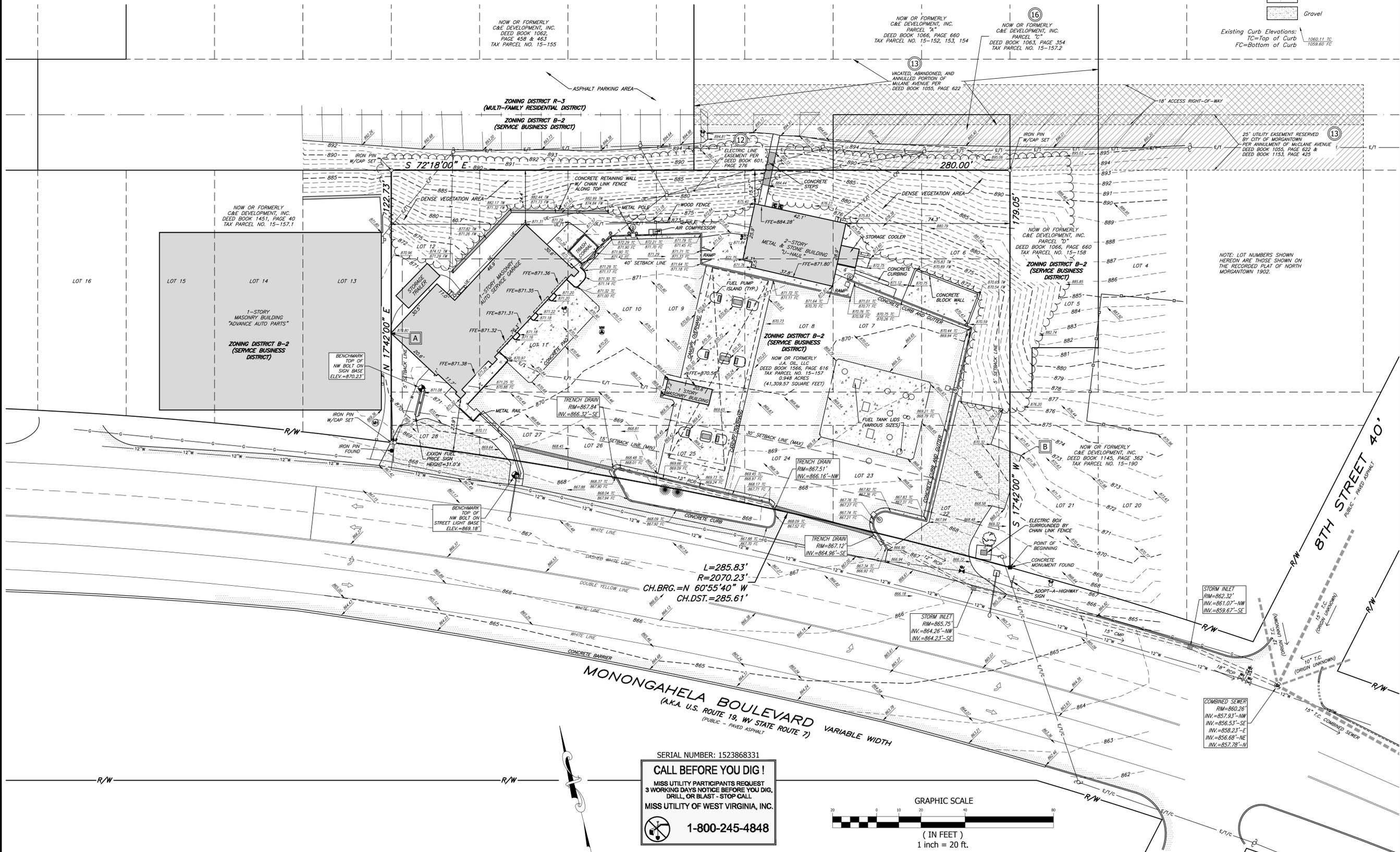
Turn Arrows	↖ ↗ ↘ ↙
Storm Inlet	⊕
AC Unit	⊕
Spot Elevation	⊕
Sanitary Manhole	⊕
Manhole	⊕
Cleanout	⊕
Evergreen Tree	⊕
Shrub	⊕

Traffic Flow Arrow	→
Gas Valve	⊕
Water Meter	⊕
Monitoring Well	⊕
Tele. Pedestal	⊕
Sign	⊕
Benchmark	⊕

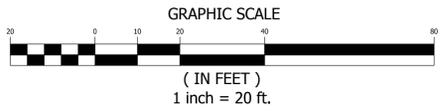
R/W Right-of-Way	---
Fc Face of Curb	---
t.c. Top of Curb	---
t.c. Terra Cotta	---
pvc Polyvinyl Chloride	---
HDPE High Density Polyethylene	---
FFE Finished Floor Elevation	---
CMP Corrugated Metal Pipe	---
RPD Reinforced Concrete Pipe	---
d.i. Ductile Iron	---

Asphalt	▨
Concrete	▨
Gravel	▨

Existing Curb Elevations:
 TC=Top of Curb
 FC=Bottom of Curb



SERIAL NUMBER: 1523868331
CALL BEFORE YOU DIG!
 MISS UTILITY PARTICIPANTS REQUEST
 3 WORKING DAYS NOTICE BEFORE YOU DIG,
 DRILL, OR BLAST - STOP CALL
 MISS UTILITY OF WEST VIRGINIA, INC.
1-800-245-4848



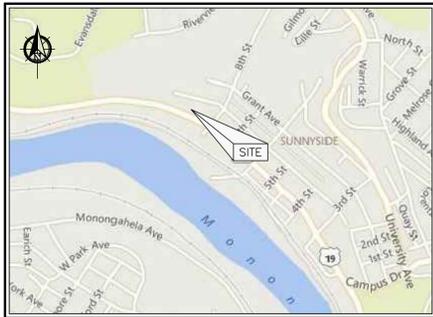
REV. NO.	DATE	DESCRIPTION
1	10/17/15	ORIGINAL SUBMITTAL
2	10/12/15	REVISED ZONING
3	10/14/15	REVISED LEGEND

MIDM
 McIlvried, Didiano, & Mox, LLC
 Site Planners, Engineers, Surveyors
 8851 Kitch Drive, P.O. Box 15237
 Pittsburgh, PA 15237
 Ph.: (724) 934-2810 Fax: (724) 934-2811
 midmllc.com

AutoZone Store #6736
 824 Monongahela Boulevard
 4th Ward, City of Morgantown, County of Monongalia
 State of West Virginia
 ALTA/ACSM LAND TITLE SURVEY

SCALE:	1"=20'
DATE:	10/14/15
DRAWN BY:	BJC
CHECKED BY:	HGM
SHEET NUMBER:	2 of 2
PROJECT NO.	6505

SITE LOCATION MAP



SCALE: 1"=1,000'

ZONING REQUIREMENTS

ZONING DISTRICT: B-2 (SERVICE BUSINESS DISTRICT)

AN AUTOMOTIVE SUPPLY ESTABLISHMENT IS A CONDITIONAL USE WITHIN THIS ZONING DISTRICT.

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	6,000 SF	41,309.57 SF (0.948 AC.)
MINIMUM LOT WIDTH	100'	122'-9"
MINIMUM FRONT YARD SETBACK	15'-0"	10'-0"
MAXIMUM FRONT YARD SETBACK	30'-0"	26'-6"
MINIMUM SIDE YARD SETBACK (20'-0" FROM ANY ACCESS DRIVE)	5'-0"	33'-0" (EAST) 175'-0" (WEST)
MINIMUM REAR YARD SETBACK	40'-0"	48'-4"
MAXIMUM BUILDING HEIGHT	72'-0"	19'-0"
MAXIMUM ACCESSORY STRUCTURE HEIGHT	20'-0"	8'-0"
MAXIMUM LOT COVERAGE (BUILDING ONLY)	60%	16.4%
MINIMUM LOT FRONTAGE	60'-0"	285'-10"
MINIMUM LOT DEPTH	100'-0"	148'-0"
MINIMUM FRONT YARD PARKING BUFFER	10'-0"	10'-11"
MINIMUM SIDE AND REAR YARD BUFFER	6'-0"	27'-10"
MINIMUM BUFFER YARD ABUTTING RESIDENTIAL DISTRICT*	10'-0"	27'-10"
ACCESSORY STRUCTURE SETBACK	10'-0"	28'-4"

*THIS REQUIREMENT MAY SUPERSEDE THE MINIMUM SETBACK REQUIREMENT FOR THE DISTRICT.

PARKING REQUIREMENTS

TWO AND ONE HALF (2.5) PARKING SPACES REQUIRED PER 1,000 SF OF GFA, PLUS ONE (1) SPACE FOR EACH EMPLOYEE ON PEAK SHIFT, PLUS ONE (1) SPACE FOR EACH COMPANY-RELATED VEHICLE ON SITE.

6,816 SF OF GFA ÷ 1,000 SF = 6.816 x 2.5 = 17.04 = 17 SPACES REQUIRED
 SEVEN (7) EMPLOYEES AT PEAK SHIFT = 7 SPACES REQUIRED
 TWO (2) SMALL PICKUP TRUCKS USED FOR DELIVERIES = 2 SPACES REQUIRED
 TOTAL SPACES REQUIRED = 26 SPACES REQUIRED

TOTAL SPACES PROVIDED = 26 SPACES PROVIDED

STALL SIZE: 8'-6" x 18'-0" REQUIRED
 9'-0" x 18'-0" PROPOSED

LOADING SPACE: ONE (1) SPACE FOR 5,000 TO 60,000 SF

LOADING SPACE SIZE: 60'-0" x 14'-0" REQUIRED
 60'-0" x 14'-0" PROPOSED

GENERAL NOTES

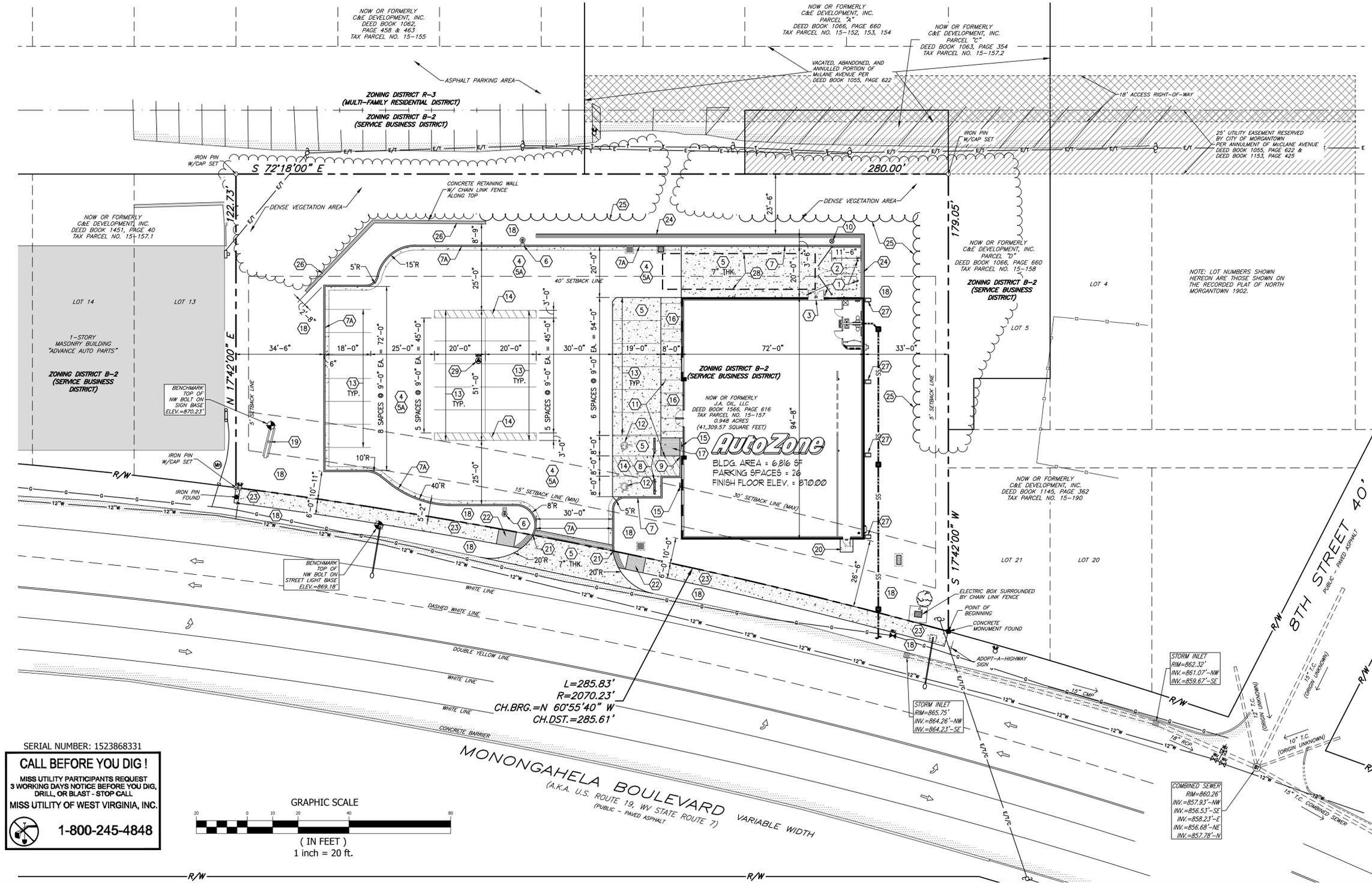
- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE. IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE UTILITY PLAN.

LEGEND

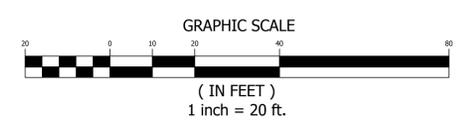
Water Line: W-W-W
 Gas Line: G-G-G
 Overhead Electric, Telephone & Cable Line: E/T/C
 Overhead Cable Line: T-T-T
 Overhead Electric Line: E-E-E
 Overhead Electric & Telephone Line: E/T-E/T-E/T
 Underground Electric Line: UE-UE-UE
 Underground Telephone & Electric Line: UE/T-UE/T-UE/T
 Storm Sewer: S-S-S
 Sanitary Sewer: SS-SS-SS
 Easements: E-E-E
 Setback Line: S-S-S
 Chain Link Fence: X-X-X
 Wooden/Vinyl Fence: W-V-W-V
 Tree Line: T-T-T
 Street Light: SL
 Iron Pin Found: IP
 Turn Arrows: TA
 Handicap Symbol: HS
 Storm Inlet: SI
 AC Unit: AC
 Storm Manhole: SM
 Sanitary Manhole: SSM
 Manhole: M
 Cleanout: CO
 Fire Hydrant: FH
 Bollard: B
 Illuminated Signs: IS
 Right-of-Way: R/W
 Asphalt: A
 Concrete: C
 Gravel: G

KEYNOTES

- PIPE GUARD - SEE DETAIL 15/C1.A.
- DUMPSTER LAYOUT - SEE DETAILS 8, 9, 10, & 11/C1.A.
- SERVICE DOOR - SEE DETAIL 14/C1.A.
- ASPHALT PAVING - SEE DETAILS 2 & 4/C1.A.
- CONCRETE PAVING - SEE DETAIL 3/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 20 & 21/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
- G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING, WHERE NOTED.
- CONCRETE LIGHT POLE BASE - SEE DETAIL 7/C1.A. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED.
- ROLL-OVER CURB @ CONCRETE PAVING - SEE DETAIL 1/C1.A.
- ROLL-OVER CURB @ ASPHALT PAVING - SEE DETAIL 2/C1.A.
- PRE-CAST CONCRETE WHEEL STOPS. SEE DETAIL 25/C1.A.
- CONSTRUCT CONCRETE CURB AGAINST BUILDING AT ACCESSIBLE RAMP.
- FROST-PROOF HOSE BIBB - SEE DETAIL 4 SHEET M2.
- BOLLARD PLAN - SEE DETAIL 17/C1.A.
- BARRIER-FREE PARKING SYMBOL - SEE DETAIL 13/C1.A.
- 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.).
- 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. STRIPES AT ACCESSIBLE PARKING TO BE BLUE - SEE DETAIL 5/C1.A.
- ACCESSIBLE PARKING SIGN - SEE DETAIL 12/C1.A. G.C. TO PROVIDE ONE VAN ACCESSIBLE SIGN.
- CONCRETE SIDEWALK - SEE DETAILS 18 & 19/C1.A FOR SIDEWALKS AROUND BUILDING.
- ACCESSIBLE RAMP - SEE DETAILS 5 & 6/C1.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2.00%), TRUNCATED DOME TO BE A CONTRASTING COLOR.
- NEW LANDSCAPE AREA - PROVIDE 3" TOPSOIL & SOD. SEE SHEET L1.0 FOR ADDITIONAL INFORMATION.
- EXISTING PYLON SIGN TO REMAIN AND BE RE-FACED. SEE SIGNAGE DRAWINGS. (UNDER SEPARATE PERMIT).
- 5'x5' CONCRETE PAD AT DOOR - SEE DETAIL 24/C1.A.
- SLOPE END OF CURB TO PAVEMENT AT 4:1.
- SLOPE SIDEWALK FLUSH TO PAVEMENT @ MAXIMUM 8.33% RUNNING SLOPE, AND MAXIMUM CROSS-SLOPE. PROVIDE AND INSTALL DETECTABLE WARNING SURFACE AT LEVEL LANDING AREA. SEE DETAIL 6/C1.A FOR ADDITIONAL INFORMATION.
- NEW 6'-0" WIDE CONCRETE SIDEWALK, PER CITY OF MORGANTOWN SPECIFICATIONS.
- CONCRETE RETAINING WALL WITH SAFETY FENCE. SEE GRADING PLAN FOR HEIGHTS. SEE STRUCTURAL DRAWINGS FOR DETAILS.
- NEW TREELINE.
- EXISTING CONCRETE RETAINING WALL TO REMAIN. PROTECT DURING CONSTRUCTION.
- CONCRETE SPLASH BLOCK. SEE DETAIL 16/C1.A.
- 60' x 14' LOADING AREA.
- EXISTING MONITORING WELL TO REMAIN. PROTECT DURING CONSTRUCTION. ADJUST TOP TO MATCH PROPOSED GRADES, AND INSTALL TRAFFIC-BEARING CAST IRON FRAME AND GRATE COVER, FOR PROTECTION.



SERIAL NUMBER: 1523868331
CALL BEFORE YOU DIG!
 MISS UTILITY PARTICIPANTS REQUEST 3 WORKING DAYS NOTICE BEFORE YOU DIG, DRILL, OR BLAST - STOP CALL.
 MISS UTILITY OF WEST VIRGINIA, INC.
 1-800-245-4848



Owner/Developer:
AutoZone Parts Inc.
 123 South Front Street, 3rd Floor
 Memphis, Tennessee 38103
 Tel: (901) 495-8709 Fax: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F.W. Dodge Plan Room Tel: (615) 884-7017

PREPARED FOR:
 Store No.: 6736
 824 MONONGAHELA BLVD.
 CITY OF MORGANTOWN, COUNTY OF MONONGALIA
 STATE OF WEST VIRGINIA

SITE PLAN

SCALE: 1" = 20'

REVISIONS

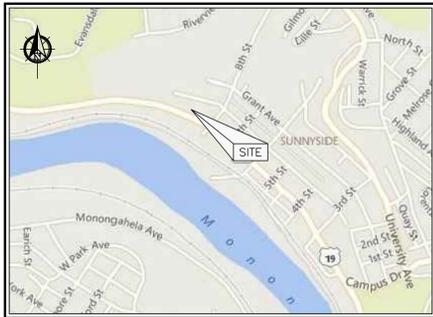
1.	
2.	
3.	
4.	
5.	
6.	
7.	

ARCHITECT:
 DRAFTSMAN: BDB
 CHECKED BY: CAD

DATE: 11-11-15
 PROTOTYPE SIZE: 65w2-L

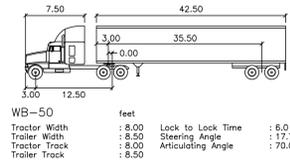
C1.0

SITE LOCATION MAP



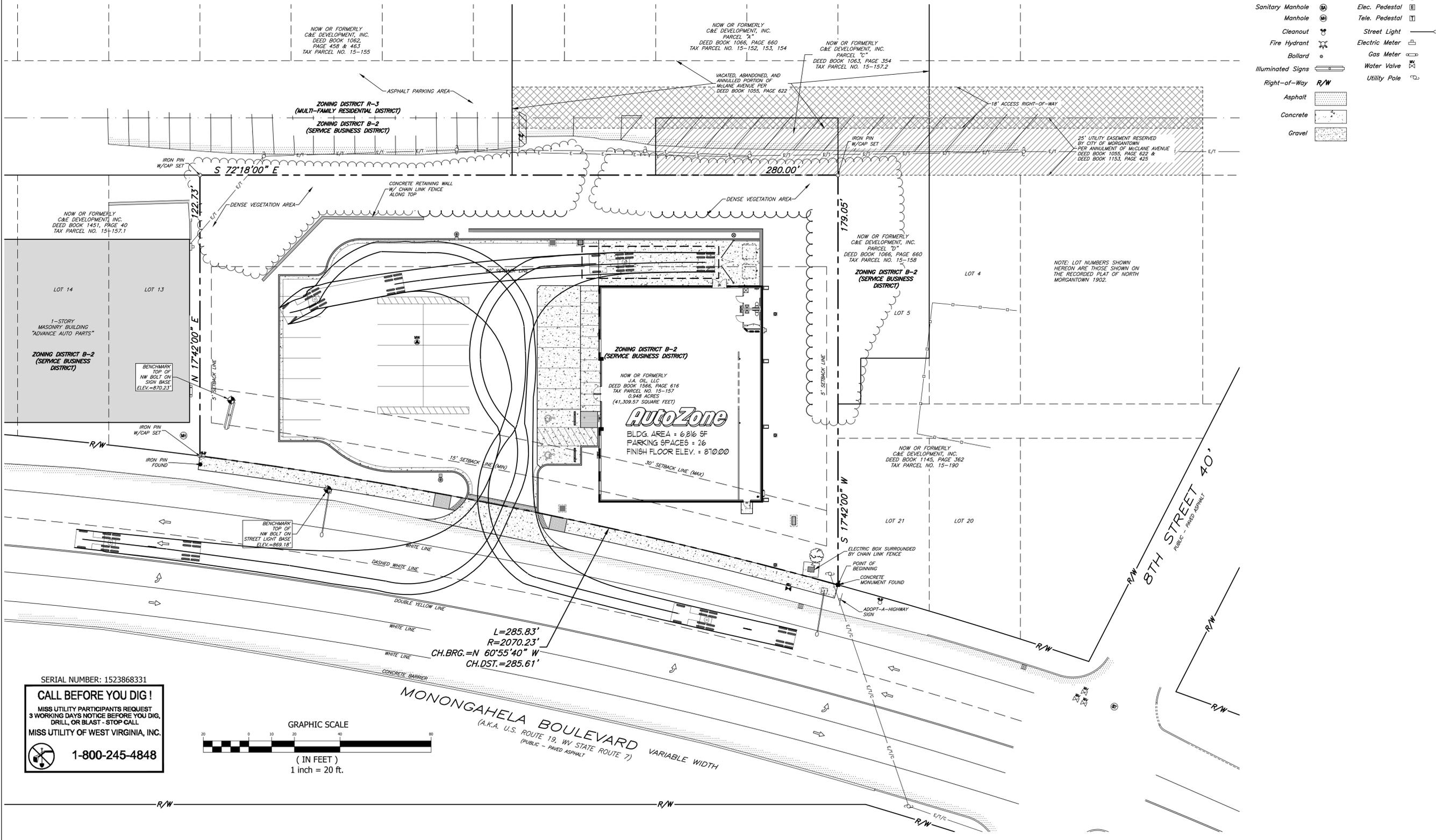
SCALE: 1"=1,000'

TRUCK INFORMATION



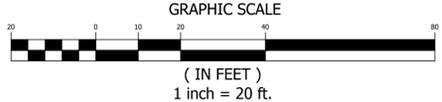
LEGEND

- Overhead Electric, Telephone & Cable Line: E/T/C
- Overhead Cable Line: T-T-T
- Overhead Electric Line: E-E-E
- Overhead Electric & Telephone Line: E/T E/T
- Easements: ---
- Setback Line: - - -
- Chain Link Fence: X-X-X
- Wooden/Vinyl Fence: [Symbol]
- Tree Line: [Symbol]
- Street Light: [Symbol]
- Iron Pin Found: [Symbol]
- Turn Arrows: [Symbol]
- Handicap Symbol: [Symbol]
- Storm Inlet: [Symbol]
- AC Unit: [Symbol]
- Storm Manhole: [Symbol]
- Sanitary Manhole: [Symbol]
- Manhole: [Symbol]
- Cleanout: [Symbol]
- Fire Hydrant: [Symbol]
- Ballard: [Symbol]
- Illuminated Signs: [Symbol]
- Right-of-Way: R/W
- Asphalt: [Symbol]
- Concrete: [Symbol]
- Gravel: [Symbol]
- Sign: [Symbol]
- Iron pin w/cap set (Unless otherwise noted): [Symbol]
- Traffic Flow Arrow: [Symbol]
- Benchmark: [Symbol]
- Gas Valve: [Symbol]
- Water Meter: [Symbol]
- Monitoring Well: [Symbol]
- Elec. Pedestal: [Symbol]
- Street Light: [Symbol]
- Electric Meter: [Symbol]
- Gas Meter: [Symbol]
- Water Valve: [Symbol]
- Utility Pole: [Symbol]



AutoZone
 BLDG. AREA = 6816 SF
 PARKING SPACES = 26
 FINISH FLOOR ELEV. = 810.00

SERIAL NUMBER: 1523868331
CALL BEFORE YOU DIG!
 MISS UTILITY PARTICIPANTS REQUEST
 3 WORKING DAYS NOTICE BEFORE YOU DIG,
 DRILL, OR BLAST - STOP CALL
 MISS UTILITY OF WEST VIRGINIA, INC.
1-800-245-4848



Owner/Developer:
AutoZone Parts Inc.
 123 South Front Street, 3rd Floor
 Memphis, Tennessee 38103
 Tel: (901) 495-8709 Fax: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F.W. Dodge Plan Room Tel: (615) 884-1017

PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 6736
 824 MONONGAHELA BLVD.
 CITY OF MORGANTOWN, COUNTY OF MONONGALIA
 STATE OF WEST VIRGINIA

TRUCK TURNING PLAN

SCALE: 1" = 20'

REVISIONS

1.
2.
3.
4.
5.
6.
7.

ARCHITECT:
 DRAFTSMAN: BDB
 CHECKED BY: CAD

DATE:
 11-11-15
 PROTOTYPE SIZE:
 65w2-L

TR1.0



City of Morgantown, West Virginia

**APPLICATION FOR
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V16-07
RECEIVED:	

(PLEASE TYPE OR PRINT IN BLACK INK)

Fee: \$75

I. APPLICANT		Name: Jones Sign on behalf of AutoZone	
Mailing Address:	1711 Scheuring Road		Phone: 920-425-9816
	Street	De Pere, Wisconsin 54115	Mobile:
	City	State	Zip
		Email: bbuss@jonessign.com	
II. PROPERTY		Street Address: 824 Monongahela Blvd	
Owner:	AutoZone		Zoning: B-2
Mailing Address:	123 South Front Street, 3rd Floor		Tax Map No: 15
	Street	Memphis, Tennessee 38103	Parcel No: 15-555
	City	State	Zip
		Phone: 901-495-8709	
III. NARRATIVE		Please describe the nature and extent of your variance request(s).	
<p>AutoZone will be opening a new store at this location and is requesting a variance to allow for two (2) wall signs on the building and the ability to keep and reuse the existing Exxon Mobil post and panel sign. Per Ch. 9, Article 1369 of the City's Planning & Zoning Code, AutoZone would be allowed 0.6 square feet of wall sign area per linear foot of tenant building frontage, which would be $72.0 \times 0.6 = 43.20$ square feet, and either a monument sign or post and panel sign not exceeding 6 feet in height and 32 square feet in area per side. The requested wall signs are as follows: one (1) sign at 54.31 square feet for the front elevation facing Monongahela Blvd and one (1) sign at 97.37 square feet for the left elevation facing AutoZone's parking lot. We are requesting a variance to allow for an additional 108.48 square feet of wall signage. For the existing post and panel sign, the lower two cabinets will be removed and AutoZone will be installing replacement faces in the cabinet at the top of the sign structure. The existing sign structure has an overall height of 29.6 feet and a cabinet face size of 62.07 square feet. We are requesting a variance to allow for an additional 23.6 feet of post and panel sign height, and an additional 30.07 square feet per sign face.</p>			
V. ATTEST			
<p>I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a variance does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions. I hereby authorize the Development Services Department to erect a notification sign on the subject property approximately 15 days prior to the BZA hearing. I further agree to maintain said signage and hereby accept responsibility in case of destruction or removal.</p>			
Briana Buss		<i>Briana Buss</i>	
Type/Print Name of Applicant/Agent		Signature of Applicant/Agent	
		Date	

You or a representative MUST be present at the scheduled hearing to present the request and answer questions. Failure to appear at the hearing will result in your request being tabled.



APPLICATION FOR VARIANCE PETITION

OFFICE USE	
CASE NO.	V16-07
RECEIVED:	

VI. SUPPLEMENTAL INFORMATION

Depending on the type of variance request and the scale and scope of the development proposal, supplemental information may be needed to assist the Board of Zoning Appeals in rendering a variance decision. *Staff will check the appropriate boxes below that must be addressed.*

Land Use Characteristics (complete only those that apply)

- Residential Single-Family Dwelling Townhouse Dwelling
 Two-Family Dwelling Multi-Family Dwelling
 Non-Residential or Mixed *(please explain)*

Structure Characteristics (complete only those that apply)

Total number of buildings: _____ Gross floor area of each building: _____

Estimated number of employees: _____ No. of dwelling units: _____ No. of bedrooms: _____

Additional structure-related details:

Additional Information (as required by Staff):

Site Plan. A scaled site plan may be required to assist the Board in rendering a variance decision. The following features must be represented, as required by Staff.

- Location, shape, exterior dimensions, and number of stories of each building on the site.
- Standard yard setbacks for the applicable zoning district
- Location, grade, and dimensions of paved surfaces, and all abutting streets
- Existing and proposed contours, at an interval of at least two (2) feet
- Complete traffic circulation plan showing dimensions, entrance/exit drives, planters, and similar improvements
- Location of landscaped areas (to be detailed on landscape plan), fences, walls, and other screen required



**APPLICATION FOR
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V16-07
RECEIVED:	

VII. FINDINGS OF FACT	COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.
------------------------------	---

The Board of Zoning Appeals may grant a variance request only if each of the following "Findings of Fact" criteria is determined to be in the positive. Applicants must give their own responses to the following criteria statements.

1. The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

The proposed sign package in this variance request will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, but rather it will enhance AutoZone's corporate identity to consumers. It is also a way for AutoZone to stay competitive with businesses offering the same services. AutoZone is going into a location which is located along a highly traveled road so the proposed signs for the location would not be a detriment to the surrounding property owners or residents, but rather well-suited because of the route and the surrounding businesses in the area. The wall signage will be aesthetically pleasing and will have consistent letter height on the building elevations. The post and panel sign will not be overbearing and will complement the size of the building and the lot. The signs will comply with the requirements of the West Virginia State Building Code and Electrical Code.

2. The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

The need for the requested variances arises from the size, location, and zoning of the property. In order for AutoZone to be able to be competitive at this location, sufficient signs on two (2) elevations of the building are necessary to draw attention to the site. The literal enforcement of the sign regulations will create a hardship for AutoZone with a lack of recognition by passing customers, hence loss in anticipated sales. In regard to the existing post and panel sign, the property is zoned B-2, and according to the Planning & Zoning Code, Table 1369.06.01, post and panel signs are permitted in the B-2 district. We are requesting a variance to keep the existing Exxon Mobil post and panel sign because there is a lack of visibility if customers are coming from the west. View of the majority of AutoZone's site is blocked by Advanced Auto Parts' building. The property is also located directly to the west of an area zoned B-2 with an overlay district, where multiple businesses have post and panel or pole signs taller than the standard 6 foot height allowance. These businesses include Double Dutch Confections, Mountaineer Manor Barbering & Styling, and Clutch Wing Shop, among others. AutoZone's sign will be in line with what some nearby businesses have. When Exxon closed, the post and panel sign was not removed. While U-Haul was conducting business at this property, the sign remained in place. The setback and under clearance is adequate to protect the clear sight for drivers.



**APPLICATION FOR
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V16-07
RECEIVED:	

VII. FINDINGS OF FACT	COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.
<p>3. The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:</p> <p>Granting of the variance for the proposed sign package will allow AutoZone to keep the existing Exxon Mobil post and panel sign, which will be visible above Advanced Auto Parts building located to the west of AutoZone's property. Allowance of that sign will ensure visibility for customers coming from the west of the property, and the requested wall signs will help customers recognize the new AutoZone store and there will be no loss of anticipated sales. The retail auto parts store is allowed in the B-2 zoning district and will contribute to a growing economy in Morgantown.</p>	
<p>4. The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:</p> <p>The purposes of the City's commercial sign regulations are, in summary: to encourage the effective use of signs as a means of communication; to maintain and enhance the pleasing look of the City, which attracts continued economic investment to the City; to preserve Morgantown as a community that is attractive to business, to residents and to visitors; and to minimize the possible adverse effects of signs on nearby public and private property.</p> <p>The sign variances will allow the intent of the zoning ordinance to be observed and substantial justice done because AutoZone's store will be visible and the signage will be effective, aesthetically pleasing, in good taste, and will attract more customers to this specific area in the City.</p>	

January 15, 2016

Development Services Department
Third Floor, Office 12
City Hall
389 Spruce Street
Morgantown, WV 26505

RE: Variance Request for AutoZone – 824 Monongahela Blvd

Dear Mr. Whitmore and Ms. Hollar:

Enclosed please find an addendum to the variance request package for AutoZone that was submitted on January 4, 2016. After my phone call with Mr. Whitmore on January 14, I relayed staff's recommendations to Brian Siddall of AutoZone and he agreed that AutoZone would make the following changes to their variance request package:

1. Instead of requesting three (3) wall signs, AutoZone is only requesting two (2) wall signs.
2. The proposed sizes of the two (2) wall signs have been reduced from the sizes that were submitted on January 4.
3. It has been noted that the front elevation is the elevation facing Monongahela Blvd. and the left elevation will face AutoZone's parking lot. Our original variance request package had called out the elevation facing Monongahela Blvd. as the right elevation, and the elevation facing the AutoZone parking lot as the front elevation.

If you have any questions or need anything further prior to the variance meeting, please contact me at (920) 425-9816 or bbuss@jonessign.com.

Thank you.

Sincerely,

Briana Buss

Jones Sign Company, Inc.
Briana Buss, Permit Coordinator
bbuss@jonessign.com
920-425-9816

54.31 sq. ft.
42.26 sq.ft.

To be installed on the front elevation facing Monongahela Blvd.

Job Number
XXXX

QTY: (1)

JOB NAME: MORGANTOWN, WV
AUTO ZONE - STORE #6736
36" AZ CHANNEL LETTERS - NS

JONES SIGN
Your Vision. Accomplished.
1711 SCHEURING ROAD TOLL FREE: 800-536-7446
DE PERE, WI 54115 TEL: 920-983-6700
www.jonesign.com FAX: 920-983-9145

Quality Grade:
2
of Circuits Req'd:
1-20 AMP CIRCUIT
Amp Draw:
2.0A
Voltage:
120V
Project Manager:
Mickey Wiskow
Salesman:
Mike Bjorklund
Revision Date:
(SEE REVISION TABLE)
Date:
05.07.14
Drwn By:
JS
Sheet No. :
1

CALL OUTS:

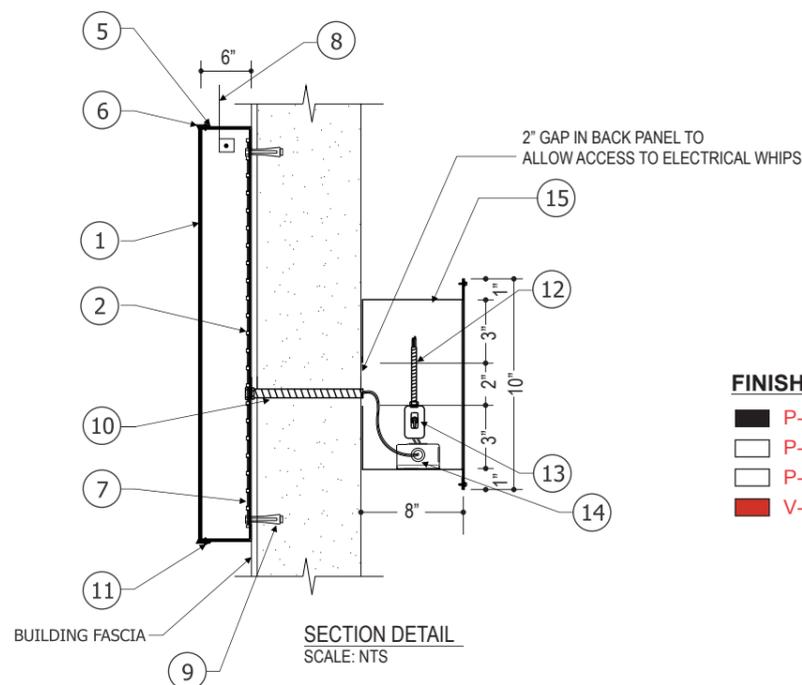
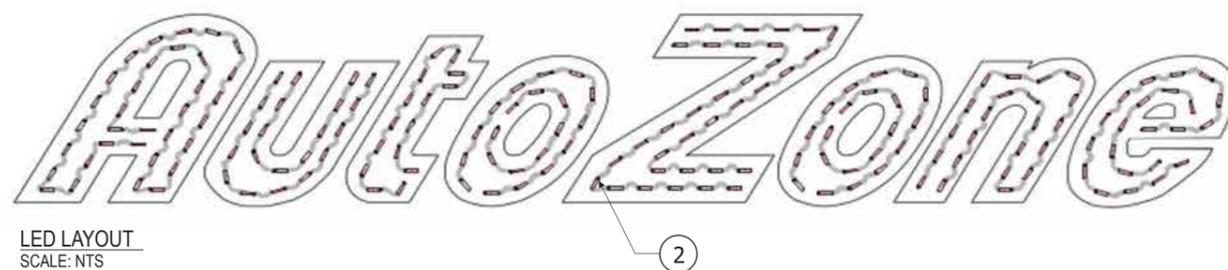
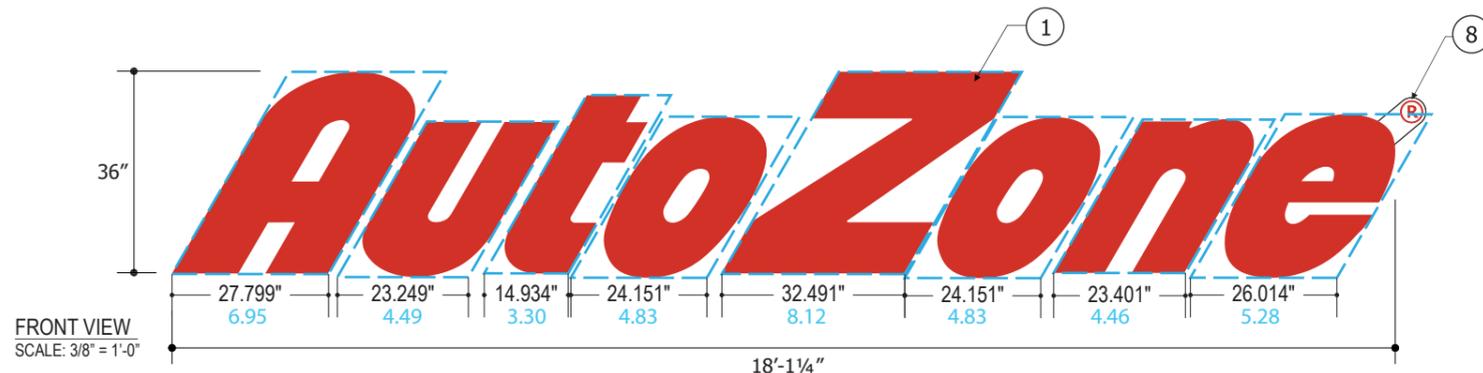
- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS.
- AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED.
- 6" PRE-FINISHED .040 BLACK/WHITE ALUMINUM RETURNS LETTER LOCKED/STAPLED TO BACK AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS/STRIPES w/ MINIMUM #8 SHEET METAL SCREWS PAINTED GLOSS BLACK P-1. SPACING SHALL NOT EXCEED 18". NO FEWER THEN FOUR (4) SCREWS PER FACE.
- PRE-FINISHED .063 BLACK/WHITE ALUMINUM BACK LETTER LOCKED/STAPLED TO RETURN AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- WHITE ALUMINUM TAB w/ RED @ VINYL APPLIED FIRST SURFACE V-1.
- REFER TO ENGINEERING FOR MOUNTING REQUIREMENTS.
- 3/8" FLEXIBLE CONDUIT (GREEN FIELD).
- 1/4" WEEP HOLES.
- 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS, TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS.
- UL APPROVED ELECTRICAL SHUT OFF SWITCH.
- TETRA POWER SUPPLY MOUNTED TO BOTTOM OF RACEWAY COVER.
- 8" x 10"H x .063 ALUMINUM FOUR SIDED INTERIOR RACEWAY w/ REMOVABLE FACE. P-2, P-3 (REQUIRED FOR ALL SIGNS).

NOTES:

- ALL VISIBLE SCREW HEADS & POP RIVETS PAINTED GLOSS BLACK.
- RACEWAY SHIPPED IN (5) PIECES (2-BACKS, 1-FRONT, 2-ENDS) & ASSEMBLED IN FIELD.

FINISHES:

- P-1 GLOSS BLACK
- P-2 RUSTOLEUM 20-9109 WHITE PRIMER
- P-3 SHERWIN WILLIAMS RELIABLE WHITE
- V-1 SIGN TECH (ARLON) 2500-2662 RED CAST FLEX VINYL



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

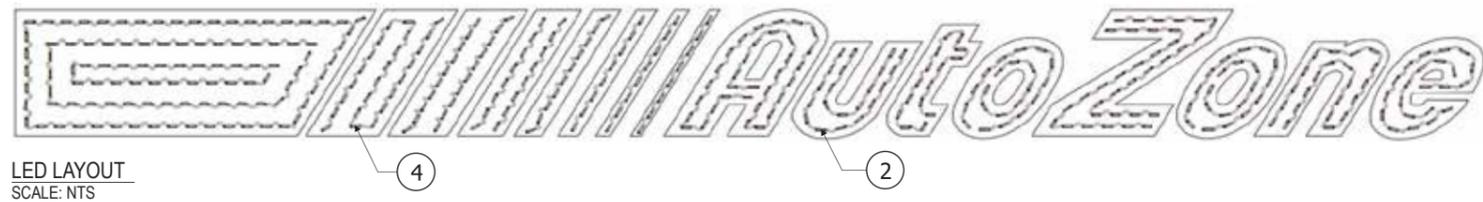
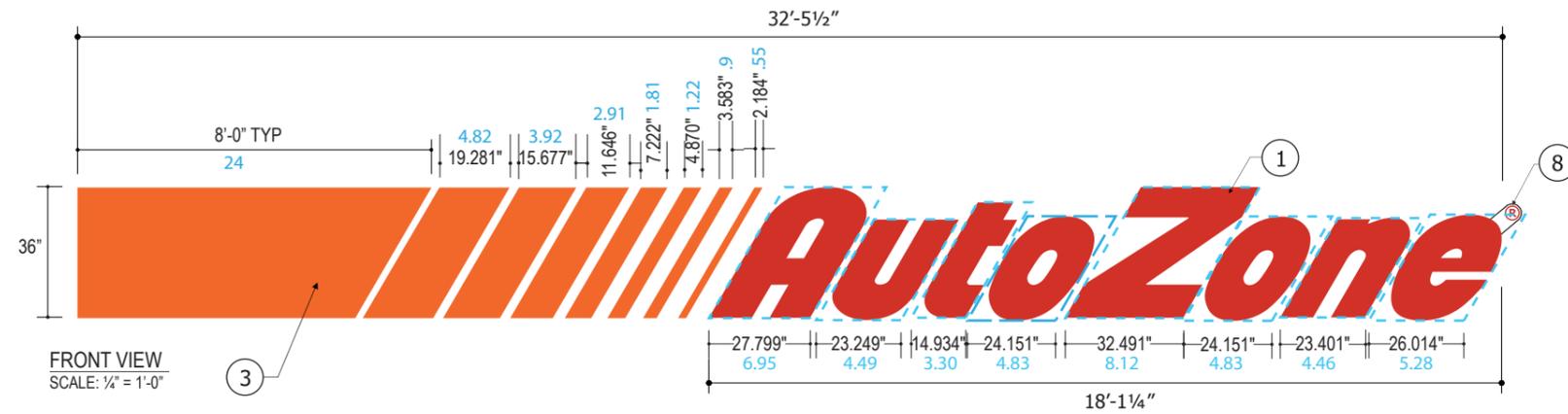
MATERIAL BREAKDOWN			MATERIAL LIST		
GEMXRD-1	Modules	P/S	LED Module		
A	33.0	1	GEMXRD-1	190 Mod	95 Ft
U	22.0		Power Supply	GEPS12-60U-NA	3 Ea
T	15.0		Supply Wire	GEPS12-20	0 Ea
O	21.0	1	Choose one wire connector	192160005	42 Ea
Z	34.0		End Caps	191600041	42 Ea
O	21.0			191600041	30 Ea
N	22.0				
E	22.0				

REVISIONS

REV.	DATE	BY	DESCRIPTION
△			

97.37 sq. ft.
82.39 sq.ft.

To be installed on the left elevation above AutoZone's customer entrance facing the parking lot

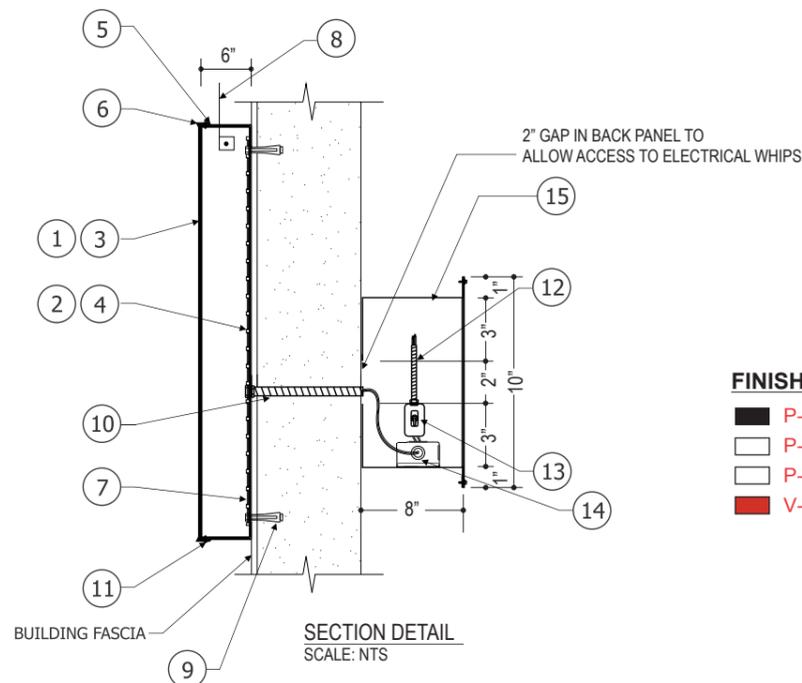


CALL OUTS:

- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS.
- AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED.
- 3/16" THK PIGMENTED PLEXIGLAS ORANGE 2119 AUTOZONE STRIPES.
- AUTOZONE STRIPES INTERNALLY ILLUMINATED w/ GE TETRA MAX ORANGE LED.
- 6" PRE-FINISHED .040 BLACK/WHITE ALUMINUM RETURNS LETTER LOCKED/STAPLED TO BACK AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS/STRIPES w/ MINIMUM #8 SHEET METAL SCREWS PAINTED GLOSS BLACK P-1. SPACING SHALL NOT EXCEED 18". NO FEWER THEN FOUR (4) SCREWS PER FACE.
- PRE-FINISHED .063 BLACK/WHITE ALUMINUM BACK LETTER LOCKED/STAPLED TO RETURN AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- WHITE ALUMINUM TAB w/ RED @ VINYL APPLIED FIRST SURFACE V-1.
- REFER TO ENGINEERING FOR MOUNTING REQUIREMENTS.
- 3/8" FLEXIBLE CONDUIT (GREEN FIELD).
- 1/4" WEEP HOLES.
- 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS, TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS.
- UL APPROVED ELECTRICAL SHUT OFF SWITCH.
- TETRA POWER SUPPLY MOUNTED TO BOTTOM OF RACEWAY COVER.
- 8" x 10"H x .063 ALUMINUM FOUR SIDED INTERIOR RACEWAY w/ REMOVABLE FACE. P-2, P-3 (REQUIRED FOR ALL SIGNS).

NOTES:

- ALL VISIBLE SCREW HEADS & POP RIVETS PAINTED GLOSS BLACK.
- RACEWAY SHIPPED IN (5) PIECES (2-BACKS, 1-FRONT, 2-ENDS) & ASSEMBLED IN FIELD.



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

FINISHES:

- P-1 GLOSS BLACK
- P-2 RUSTOLEUM 20-9109 WHITE PRIMER
- P-3 SHERWIN WILLIAMS RELIABLE WHITE
- V-1 SIGN TECH (ARLON) 2500-2662 RED CAST FLEX VINYL

MATERIAL BREAKDOWN		
GEMXPO-1	Modules	P/S
S1	8.0	1
S2	8.0	
S3	8.0	
S4	10.0	
S5	16.0	
S6	20.0	
S7	24.0	
S8	103.0	
GEMXRD-1	Modules	P/S
A	33.0	1
U	22.0	
T	15.0	
O	21.0	
Z	34.0	
O	21.0	
N	22.0	
E	22.0	

MATERIAL LIST			
LED Module	GEMXPO-1	197 Mod	99 Ft
	GEMXRD-1	190 Mod	95 Ft
Power Supply	GEPS12-60U-NA		3 Ea
	GEPS12-20		0 Ea
Supply Wire	9409		135 Ft
Choose one wire connector	192160005		42 Ea
	191600041		42 Ea
	191600041		30 Ea

REVISIONS

REV.	DATE	BY	DESCRIPTION
△			

Job Number
XXXX

QTY: (1)

JOB NAME: MORGANTOWN, WV
AUTO ZONE - STORE #6736
36" AZ CHANNEL LETTERS - LS

JONES SIGN
Your Vision. Accomplished.
1711 SCHEURING ROAD TOLL FREE: 800-536-7446
DE PERE, WI 54115 TEL: 920-983-6700
www.jonesign.com FAX: 920-983-9145

Quality Grade:
2

of Circuits Req'd:
1-20 AMP CIRCUIT

Amp Draw:
2.0A

Voltage:
120V

Project Manager:
Mickey Wiskow

Salesman:
Mike Bjorklund

Revision Date:
(SEE REVISION TABLE)

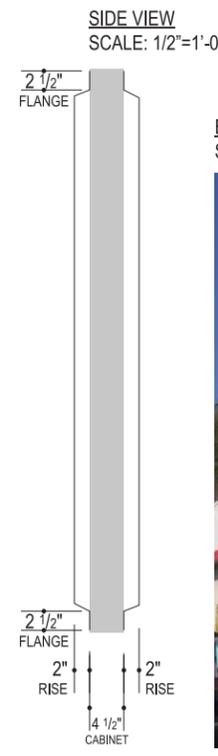
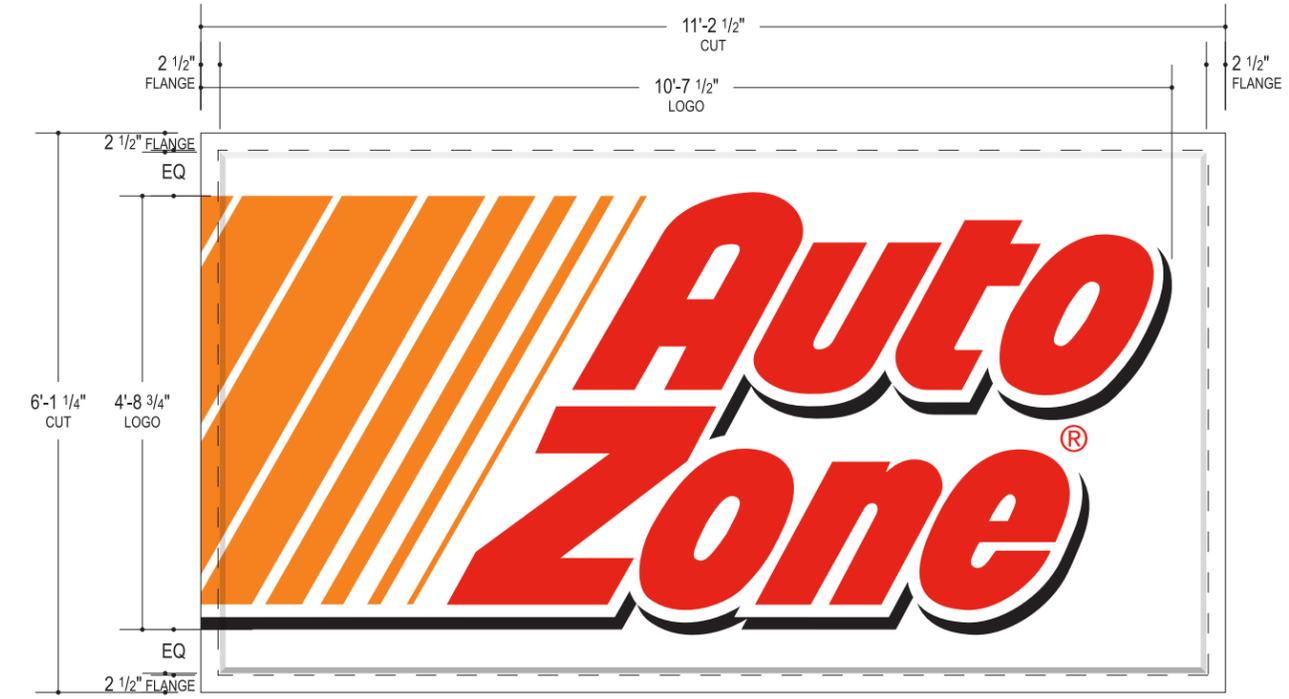
Date:
06.05.14

Drwn By:
JS

Sheet No. :
1

REPLACEMENT FACES (Qty 2)

SQUARE FOOTAGE: 62.07



- SPECIFICATIONS**
- .150 WHITE TRANSLUCENT PAN FORMED FACES w/ FIRST SURFACE APPLIED VINYL GRAPHICS V-1, V-2, V-3
 - NEW 2 1/2" RETAINERS PAINTED P-1

- NOTES**
- PAINT EXISTING POLES & CABINET P-1
 - INSTALLER TO REMOVE & DISPOSE OF THE READER BOARD & GAS PRICE CABINETS
 - INSTALLER TO SERVICE THE TOP CABINET TO LIGHT 100%
 - EXISTING CABINET DEPTH: 4 1/2"

PROPOSED VIEW
SCALE: Not to Scale



EXISTING VIEW
SCALE: Not to Scale



- COLORS/FINISHES**
- P-1 GLOSS BLACK
 - V-1 3M 3630-44 ORANGE TRANSLUCENT VINYL
 - V-2 3M 3630-22 BLACK OPAQUE VINYL
 - V-3 3M 3630-143 POPPY RED TRANSLUCENT VINYL

JONES SIGN
Your Vision Accomplished
GREEN BAY • PHILADELPHIA
SAN DIEGO • LAS VEGAS
www.jonessign.com

JOB #: 208834-R0
DATE: 10.13.2015
DESIGNER: Amanda Otto
SALES REP: XXX
PROJ MGR: Jamie De Vos

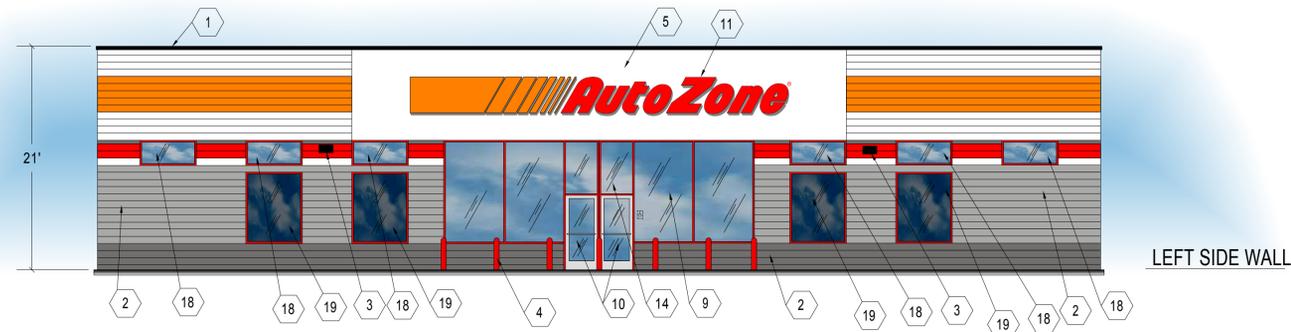
REV.	DATE	BY	DESCRIPTION
1	00.00.00	XX	XXXX
2	00.00.00	XX	XXXX
3	00.00.00	XX	XXXX
4	00.00.00	XX	XXXX
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL _____ DATE _____
LANDLORD APPROVAL _____ DATE _____
QC **QC APPROVED**
By Rhoda Schley at 1:14 pm, Oct 21, 2015

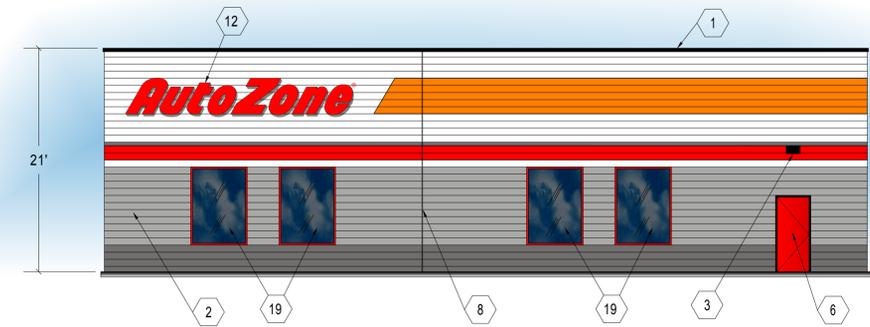
Site #6736
Morgantown, WV
DESIGN PHASE: CONCEPTUAL

SHEET NUMBER
1.0

This is an original, unpublished drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project being planned for you by JONES SIGN. It is not to be shown to anyone outside of your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of JONES SIGN, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. JONES SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.



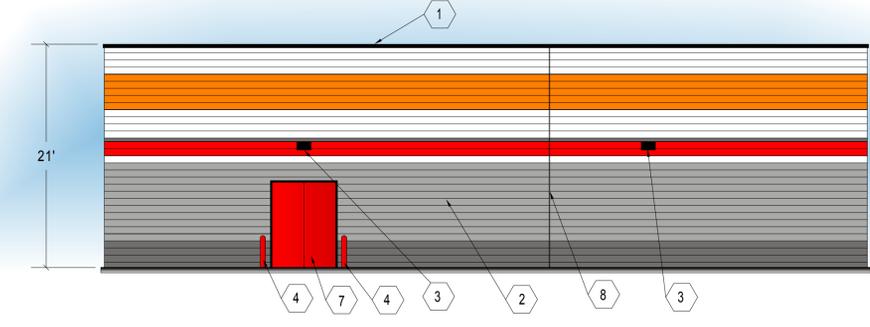
LEFT SIDE WALL



FRONT WALL
(FACES MONONGAHELA BLVD.)



RIGHT SIDE WALL



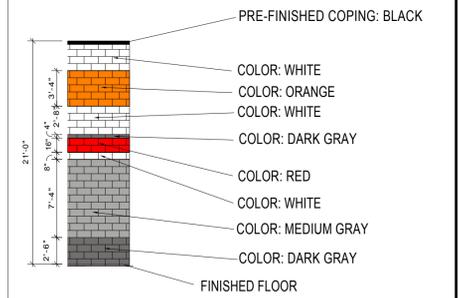
REAR WALL

1/15/2016 -
The request
for this sign
has been
retracted by
AutoZone.
Please
disregard
the sign on
this wall.

- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DELIVERY DOORS - PAINT DOORS RED, PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 LEFT WALL SIGN - 36" STRIPES LEFT
- 12 FRONT WALL SIGN - 40" AZ ONLY
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE
- 17 NOT USED
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS

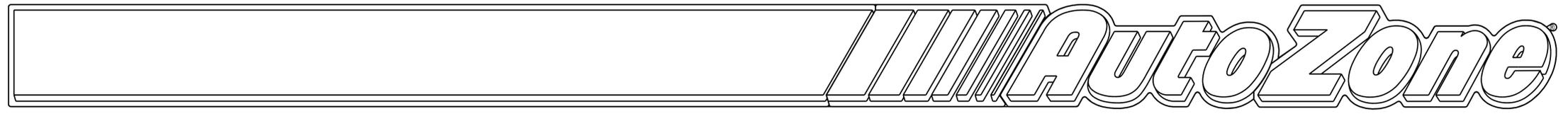
2 ELEVATION KEY NOTES

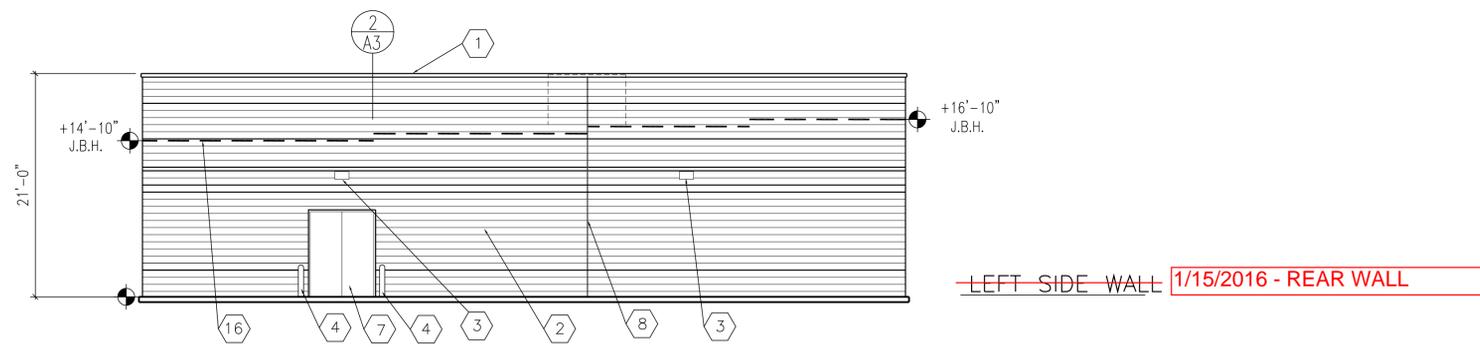
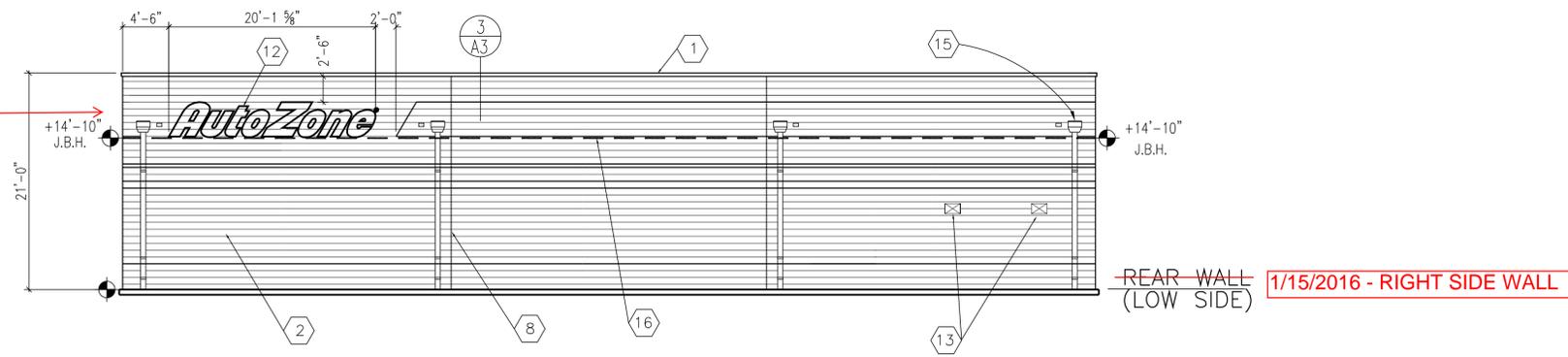
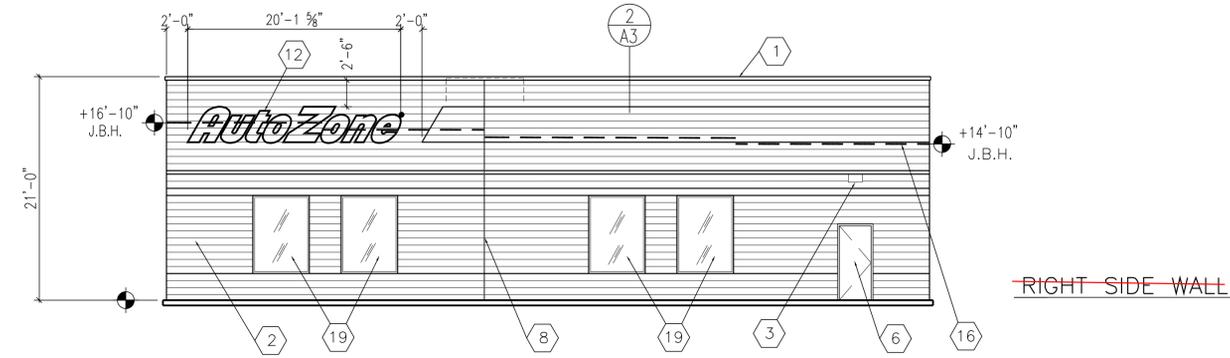
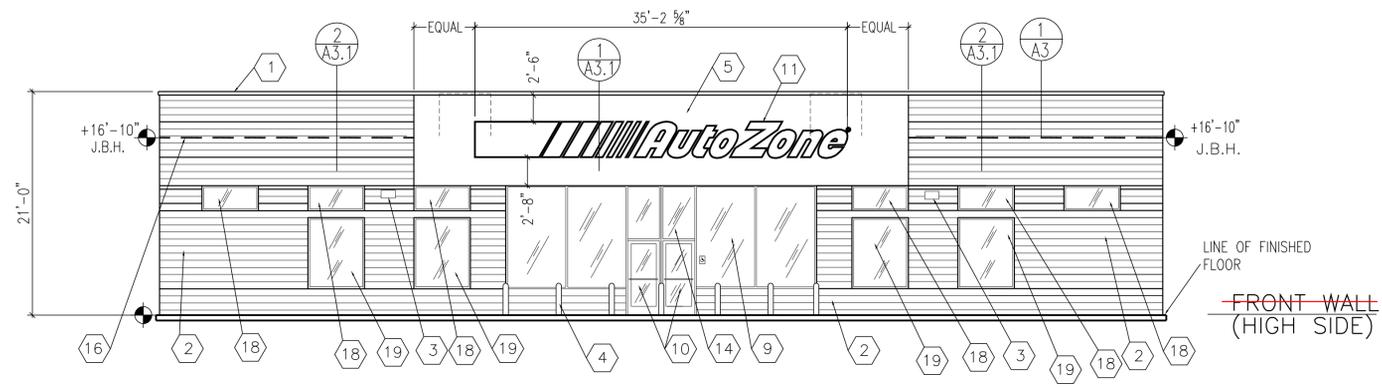
NOTE: CENTER ALL WALL SIGNAGE VERTICALLY ON THE PAINTED ORANGE STRIPE OR THE TOP TWO BRICK SOLDIER COURSES. PAINT ORANGE STRIPE TO WITHIN 2' OF WALL SIGN. DO NOT PAINT ORANGE STRIPE BEHIND SIGN.



3 EXTERIOR WALL COLOR SCHEME

Color Elevation
AutoZone Store #6736
MORGANTOWN, WV



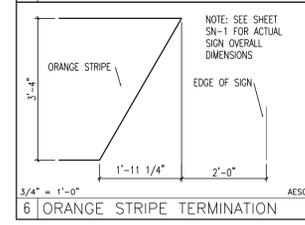
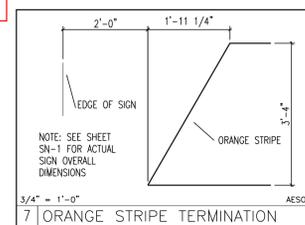
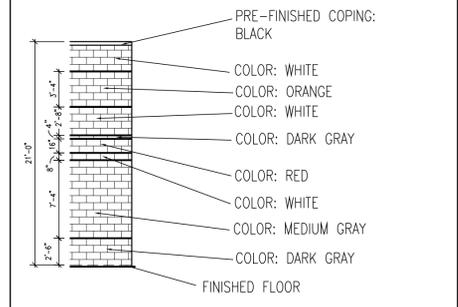


1/15/16 - The request for this sign has been retracted by AutoZone. Please disregard this sign.

- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DELIVERY DOORS - PAINT DOORS RED, PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 40" STRIPES LEFT
- 12 RIGHT & REAR SIDE WALL SIGN - 40" AZ ONLY
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE
- 17 NOT USED
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS

2 ELEVATION KEY NOTES

NOTE: CENTER ALL WALL SIGNAGE VERTICALLY ON THE PAINTED ORANGE STRIPE OR BETWEEN THE TOP TWO BRICK SOLDIER COURSES. PAINT ORANGE STRIPE TO WITHIN 2' OF WALL SIGN. DO NOT PAINT ORANGE STRIPE BEHIND SIGN.



- GENERAL NOTES:
1. REFER TO SECTION 09900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS. ALL COLORS ARE BY SHERWIN-WILLIAMS PAINT COMPANY.
 2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
 3. SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
 4. ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

4 GENERAL NOTES

- SIGNAGE NOTES:
1. AUTOZONE'S SIGN VENDOR WILL FURNISH AND INSTALL ALL SIGNS UNLESS OTHERWISE SPECIFICALLY NOTED ON THE DRAWINGS. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE FURNISHED AND PREPARED BY GENERAL CONTRACTOR.
 2. SIGN INSTALLER SHALL OBTAIN SIGN PERMITS AND INSTALL ALL FREESTANDING SIGNS AND THEIR FOUNDATIONS UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL INSURE SIGN LOCATION IS TO GRADE AND SHALL MARK WHERE SIGN IS TO BE LOCATED.
 3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL, AND FINAL ELECTRICAL HOOK-UP. SEE "SM" SHEETS FOR ADDITIONAL INFORMATION.
 4. SEE SHEET E3 FOR LOCATIONS OF J-BOXES TERMINATING EACH WALL SIGN CIRCUIT.

- 5 SIGNAGE NOTES - BUILDING

REVISIONS	
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

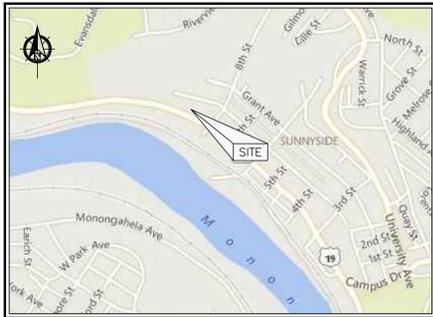
AutoZone Store No. 6736
830 MONONGAHELA BLVD.
MORGANTOWN WV 26505

Architect: Phil Record
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-8706 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
McGrav - Hill Construction Tel. 615-884-1017
www.construction.com

11/16/15
65W2-L
A-2

J.B.H. = JOIST BEARING HEIGHT

SITE LOCATION MAP



SCALE: 1"=1,000'

ZONING REQUIREMENTS

ZONING DISTRICT: B-2 (SERVICE BUSINESS DISTRICT)

AN AUTOMOTIVE SUPPLY ESTABLISHMENT IS A CONDITIONAL USE WITHIN THIS ZONING DISTRICT.

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	6,000 SF	41,309.57 SF (0.948 AC.)
MINIMUM LOT WIDTH	100'	122'-9"
MINIMUM FRONT YARD SETBACK	15'-0"	10'-0"
MAXIMUM FRONT YARD SETBACK	30'-0"	26'-6"
MINIMUM SIDE YARD SETBACK (20'-0" FROM ANY ACCESS DRIVE)	5'-0"	33'-0" (EAST) 175'-0" (WEST)
MINIMUM REAR YARD SETBACK	40'-0"	48'-4"
MAXIMUM BUILDING HEIGHT	72'-0"	19'-0"
MAXIMUM ACCESSORY STRUCTURE HEIGHT	20'-0"	8'-0"
MAXIMUM LOT COVERAGE (BUILDING ONLY)	60%	16.4%
MINIMUM LOT FRONTAGE	60'-0"	285'-10"
MINIMUM LOT DEPTH	100'-0"	148'-0"
MINIMUM FRONT YARD BUFFER	10'-0"	4'-0"
MINIMUM SIDE AND REAR YARD BUFFER	6'-0"	27'-10"
MINIMUM BUFFER YARD ABUTTING RESIDENTIAL DISTRICT*	10'-0"	N/A
ACCESSORY STRUCTURE SETBACK	10'-0"	28'-4"

*THIS REQUIREMENT MAY SUPERSEDE THE MINIMUM SETBACK REQUIREMENT FOR THE DISTRICT.

PARKING REQUIREMENTS

TWO AND ONE HALF (2.5) SPACES PER 1,000 SF OF GROSS FLOOR AREA AND ONE SPACE PER EMPLOYEE.

6,816 SF + 1,000 SF = 6.816
6.816 X 2.5 SPACES = 18 SPACES
± 8 EMPLOYEE SPACES
= 26 TOTAL SPACES REQUIRED
27 SPACES PROPOSED

STALL SIZE: 8'-6" x 18'-0" REQUIRED
9'-0" x 18'-0" PROPOSED

LOADING SPACE: ONE (1) SPACE FOR 5,000 TO 60,000 SF

LOADING SPACE SIZE : 60'-0" x 14'-0" REQUIRED
60'-0" x 14'-0" PROPOSED

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE UTILITY PLAN.

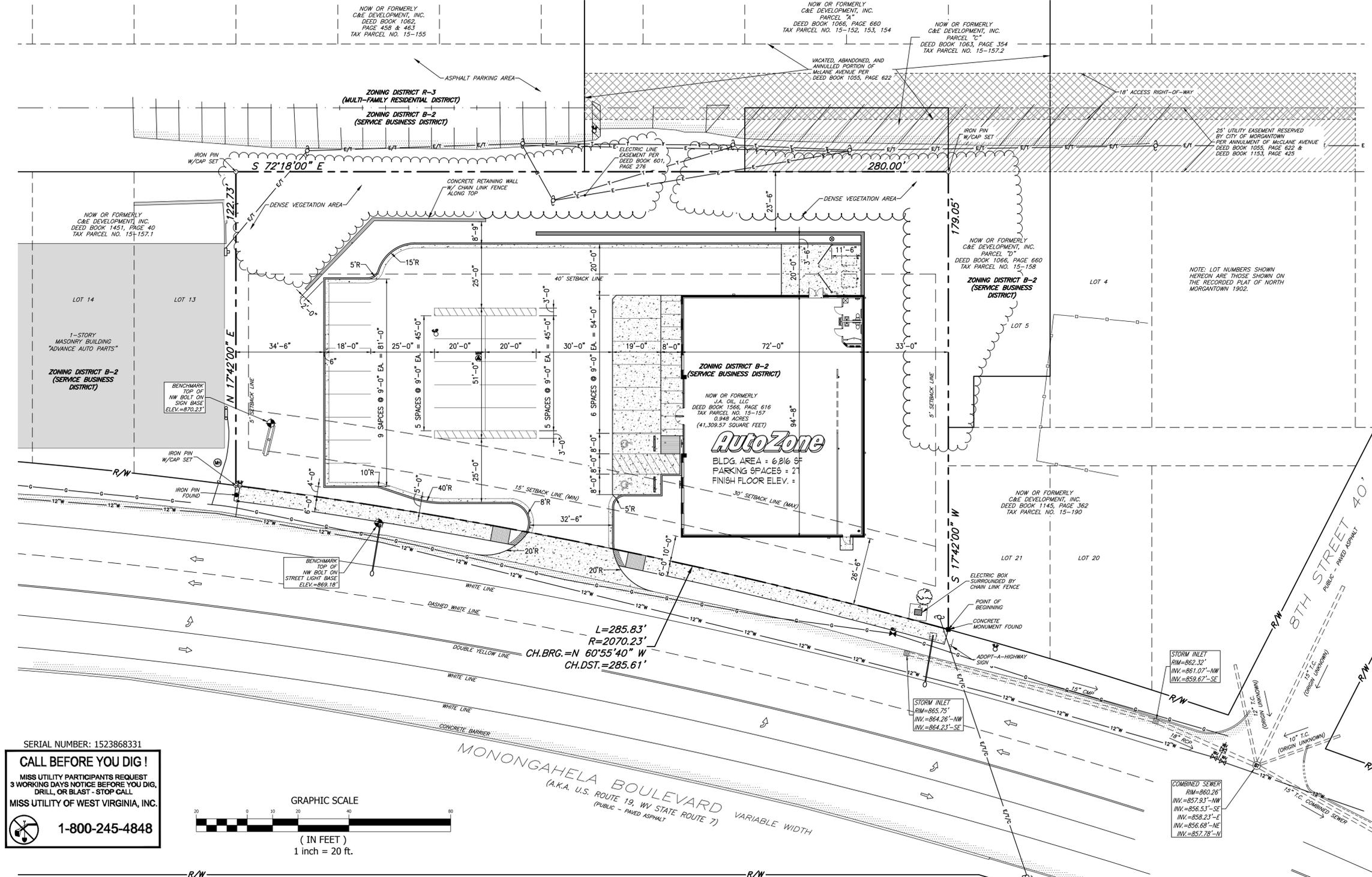
LEGEND

Water Line
Gas Line
Overhead Electric, Telephone & Cable Line
Overhead Cable Line
Overhead Electric Line
Overhead Electric & Telephone Line
Underground Electric Line
Underground Telephone & Electric Line
Storm Sewer
Sanitary Sewer
Easements
Setback Line
Chain Link Fence
Wooden/Vinyl Fence
Tree Line
Street Light
Iron Pin Found
Turn Arrows
Handicap Symbol
Storm Inlet
AC Unit
Storm Manhole
Sanitary Manhole
Manhole
Cleanout
Fire Hydrant
Ballard
Illuminated Signs
Right-of-Way R/W
Asphalt
Concrete
Gravel

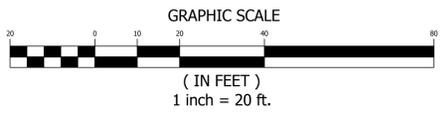
Sign
Iron pin w/cap set (unless otherwise noted)
Traffic Flow Arrow
Benchmark
Gas Valve
Water Meter
Monitoring Well
Elec. Pedestal
Tele. Pedestal
Street Light
Electric Meter
Gas Meter
Water Valve
Utility Pole

KEYNOTES

- PIPE GUARD - SEE DETAIL 15/C1.A.
- DUMPSTER LAYOUT - SEE DETAILS 8, 9, 10, & 11/C1.A.
- SERVICE DOOR - SEE DETAIL 14/C1.A.
- ASPHALT PAVING - SEE DETAILS 4 & 17/C1.A.
- CONCRETE LIGHT POLE BASE - SEE DETAILS 20 & 21/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
- G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING, WHERE NOTED.
- CONCRETE LIGHT POLE BASE - SEE DETAIL 7/C1.A. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED.
- ROLL-OVER CURB @ CONCRETE PAVING - SEE DETAIL 1/C1.A.
- ROLL-OVER CURB @ ASPHALT PAVING - SEE DETAIL 17/C1.A.
- PRE-CAST CONCRETE WHEEL STOPS. SEE DETAIL 25/C1.A.
- CONSTRUCT 6" WIDE CONCRETE CURB AGAINST BUILDING AT ACCESSIBLE RAMP.
- FROST-PROOF HOSE BIBB - SEE DETAIL 4 SHEET M2.
- BOLLARD PLAN - SEE DETAIL 13/C1.A.
- BARRIER-FREE PARKING SYMBOL - SEE DETAIL 6/C1.A.
- 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.).
- 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. STRIPES AT ACCESSIBLE PARKING TO BE BLUE - SEE DETAIL 5/C1.A.
- ACCESSIBLE PARKING SIGN - SEE DETAIL 12/C1.A. G.C. TO PROVIDE ONE VAN ACCESSIBLE SIGN.
- CONCRETE SIDEWALK - SEE DETAILS 18 & 19/C1.A FOR SIDEWALKS AROUND BUILDING.
- ACCESSIBLE RAMP - SEE DETAILS 2 & 5/C1.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2.00%), TRUNCATED DOME TO BE A CONTRASTING COLOR.
- NEW LANDSCAPE AREA - PROVIDE 3" TOPSOIL & SOD. SEE SHEET L1.0 FOR ADDITIONAL INFORMATION.
- EXISTING PYLON SIGN TO REMAIN AND BE RE-FACED. SEE SIGNAGE DRAWINGS. (UNDER SEPARATE PERMIT).
- 5'x5' CONCRETE PAD AT DOOR - SEE DETAIL 24/C1.A.
- SLOPE END OF CURB TO PAVEMENT AT 4:1.
- LIMITS OF NEW PAVEMENT.
- NEW 6'-0" WIDE CONCRETE SIDEWALK, PER CITY OF MORGANTOWN SPECIFICATIONS.



SERIAL NUMBER: 1523868331
CALL BEFORE YOU DIG!
MISS UTILITY PARTICIPANTS REQUEST 3 WORKING DAYS NOTICE BEFORE YOU DIG, DRILL, OR BLAST - STOP CALL.
MISS UTILITY OF WEST VIRGINIA, INC.
1-800-245-4848



Owner/Developer: **AutoZone Inc.**
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact: F.W. Dodge Plan Room Tel: (615) 884-1017

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6736
824 MONONGAHELA BLVD.
CITY OF MORGANTOWN, COUNTY OF MONONGALIA
STATE OF WEST VIRGINIA

SITE PLAN

SCALE: 1" = 20'

REVISIONS

1.
2.
3.
4.
5.
6.
7.

ARCHITECT: _____
DRAFTSMAN: CWT
CHECKED BY: CAD

DATE: 11-11-15
PROTOTYPE SIZE: 65Wx2-L

C1.0