



# MORGANTOWN PLANNING COMMISSION

September 11, 2014  
6:30 PM  
City Council Chambers

**President:**

Peter DeMasters, 6<sup>th</sup> Ward

**Vice-President:**

Carol Pyles, 7<sup>th</sup> Ward

**Planning Commissioners:**

Sam Loretta, 1<sup>st</sup> Ward

Tim Stranko, 2<sup>nd</sup> Ward

William Blosser, 3<sup>rd</sup> Ward

Bill Petros, 4<sup>th</sup> Ward

Mike Shuman, 5<sup>th</sup> Ward

Ken Martis, Admin.

Jennifer Selin, City Councilor

## **STAFF REPORT**

**CASE NO:** S14-06-III / Morgantown Beauty College / 276 Walnut Street

**REQUEST and LOCATION:**

Request by Bob Lindsey of LAI Architects, Inc., on behalf of Mike Sodomoc and the Morgantown Beauty College, for a Type III Site Plan approval of a Development of Significant Impact at 276 Walnut Street.

**TAX MAP NUMBER(s) and ZONING DESCRIPTION:**

Tax Map 29, Parcels 27, 27.1 and 31; B-4, General Business District

**SURROUNDING ZONING:**

B-4, General Business District

**BACKGROUND:**

The petitioner seeks to develop twelve (12) one-bedroom apartments within a portion of the existing Morgantown Beauty College building. Addendum A of this report illustrates the location of the subject site.

**Proposed Development Program**

The following generally summarizes the proposed development program illustrated in the petitioner's application documents.

- The front portion of the building along Walnut Street and the basement of the rear portion of the building will be substantially renovated to serve the Morgantown Beauty College.
- A new ADA accessible ramp will be constructed on the front of the building along Walnut Street.
- Twelve (12) new one-bedroom loft apartments will be developed above the basement level of the rear building.
- All renovations and construction will be contained within the existing footprint of the building.
- The existing parking lot adjoining the site and accessed from Spruce Street (Parcels 27 and 27.1 of Tax Map 29) will be improved by closing the access drive directly onto Spruce Street, hardscape and/or landscape screening along Spruce Street, and paving the gravel lot.

The petitioner presented the development to the Design Review Committee on 12 AUG 2014.

**Development Services**

Christopher Fletcher, AICP  
Director

**Planning Division**

389 Spruce Street  
Morgantown, WV 26505  
304.284.7431



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**DSI Application Exhibits**

The following list identifies documents submitted by the petitioner as a part of the subject Development of Significant Impact Site Plan petition.

- Type III Development of Significant Impact Site Plan Application.
- Drawings prepared by BuildingLab, LLC dated 01 AUG 2014.

Additionally, a letter of support dated 12 AUG 2014 has been submitted from Mainstreet Morgantown and is attached hereto.

**Required Planning and Zoning Code Approvals**

The following Planning and Zoning Code related approvals are required for the development program as proposed. Each case number is followed with a brief description.

*Planning Commission*

Case No. S14-06-III .....Development of Significant Impact Site Plan.

Article 1385.05 provides that developments with 12 to 99 dwelling units are considered "Developments of Significant Impact" (DSI) which are those that have a neighborhood or citywide impact and involve the transportation network, environmental features such as parks or corridor streams, and local schools. DSI Site Plans must be reviewed and approved by the Planning Commission.

*Board of Zoning Appeals*

Case No. V14-39 .....Variance relief as it relates to "Over-Store Dwelling" uses.

Because the total gross floor area of the nonresidential Morgantown Beauty College use is greater than the total gross floor area of the proposed residential use, the apartments are classified as "Over-Store Dwellings" rather than "Mixed-Use Dwellings." Article 1331.06(20)(c) provides that "Over-Store Dwelling" units may not be on the ground floor or street level of any building. Because the first level of the proposed dwelling units, located in the rear portion of the building, will be at or near the grade of Walnut Street, variance relief is required. This variance petition is scheduled for consideration by the BZA's at its 17 SEPT 2014 hearing.

**ANALYSIS:**

**Comprehensive Plan and Downtown Strategic Plan**

As recommended in Chapter 9 "Implementation" of the 2013 Comprehensive Plan Update, Addendum B of this report identifies how the proposed development program relates to the land management intent, location, and pattern and character principles of the current Comprehensive Plan.

Additionally, Addendum B includes sections of the 2010 Downtown Strategic Plan Update. It should be noted that "shall" statements within the Comprehensive Plan

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and/or Downtown Strategic Plan should be understood as desired objectives and strategies that do not have the authority of law unless incorporated into the City's Planning and Zoning Code.

Staff encourages the Planning Commission to review both Plans for guidance as Addendum B is not intended to represent a complete comparative assessment.

It is the opinion of the Planning Division that the proposed development is in concurrence with the 2013 Comprehensive Plan Update.

### **Site Location**

The proposed development represents a unique opportunity to increase the number of dwelling units in the B-4 District through adaptive reuse of a building while delivering substantial renovations to the Morgantown Beauty College facilities. Because the site is well served by public transit and is within walking and biking distance of primary destinations, residents can access alternate modes of transportation thereby reducing auto dependency and mitigating increased traffic congestion created by commuting traffic from higher density residential development outside the City of Morgantown.

### **Residential Density**

Parcel 31 of Tax Map 29 is approximately 9,490 square feet. The proposed 12 units is significantly less than the maximum residential density standard of 32 units provided under Article 1349.07 for the subject site.

### **Parking**

Article 1349.08(A)(1) provides that parking is not required for the first twenty-two (22) occupants for permitted residential development within the B-4 District. The petitioner's proposed development provides for twelve (12) one-bedroom units and therefore is not required to provide parking. It should be noted that the petitioner will be significantly improving the adjoining parking lot accessed from Spruce Street and provide hardscape and/or landscape screening similar to what is being developed at the adjacent Pikewood Creative site (formerly Boy's and Girl's Club), which will be a welcome improvement to the Spruce Street streetscape. Additionally, residents of the proposed development will have access to said parking lot.

### **Traffic Impact Analysis**

Because parking is not required for the proposed development and the fact that the adjoining parking lot is an existing use, the Engineering Division determined that a Traffic Impact Analysis is not warranted for the subject development.

### **STAFF RECOMMENDATION:**

Staff recommends approval of Case No. S14-06-III as proposed with the following conditions:

1. That Variance Case No. V14-39 must be approved by the Board of Zoning Appeals (BZA) and all related conditions therein observed and/or addressed accordingly.

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2. That the developer shall continue to consult with the Downtown Design Review Committee and accordingly address the Committee's comments and concerns where practicable.
3. That the final Landscape Plan and Erosion Control Plan for parking lot improvements on Parcels 27 and 27.01 of Tax Map 29 must be submitted with the related building permit application(s) for review and approval. Variance approval must be obtained should said plans not conform to the related performance standards set forth in the City's Planning and Zoning Code. Said Landscape Plan must, to the greatest extent practicable, provided for a hardscape and/or landscape buffer screening along Spruce Street to complement similar designs currently being constructed for the adjacent Pikewood Creative development site (formerly Boy's and Girl's Club).
4. That the public sidewalk along the adjoining parking lot's Spruce Street frontage shall be reconstructed to the satisfaction of the City Engineer and, where practicable, incorporate design elements utilized in the High Street streetscape improvement projects and the planned Walnut Street streetscape improvement project.
5. That a master Signage Plan must be submitted and reviewed under the standard building permit application process. Variance approval must be obtained should the master Signage Plan not conform to related performance standards set forth in the City's Planning and Zoning Code.
6. That the development must meet all applicable federal Fair Housing and Americans with Disabilities Act standards as determined by the City's Chief Building Code Official.

Attachments: As noted above.

**Development Services**

Christopher Fletcher, AICP  
Director

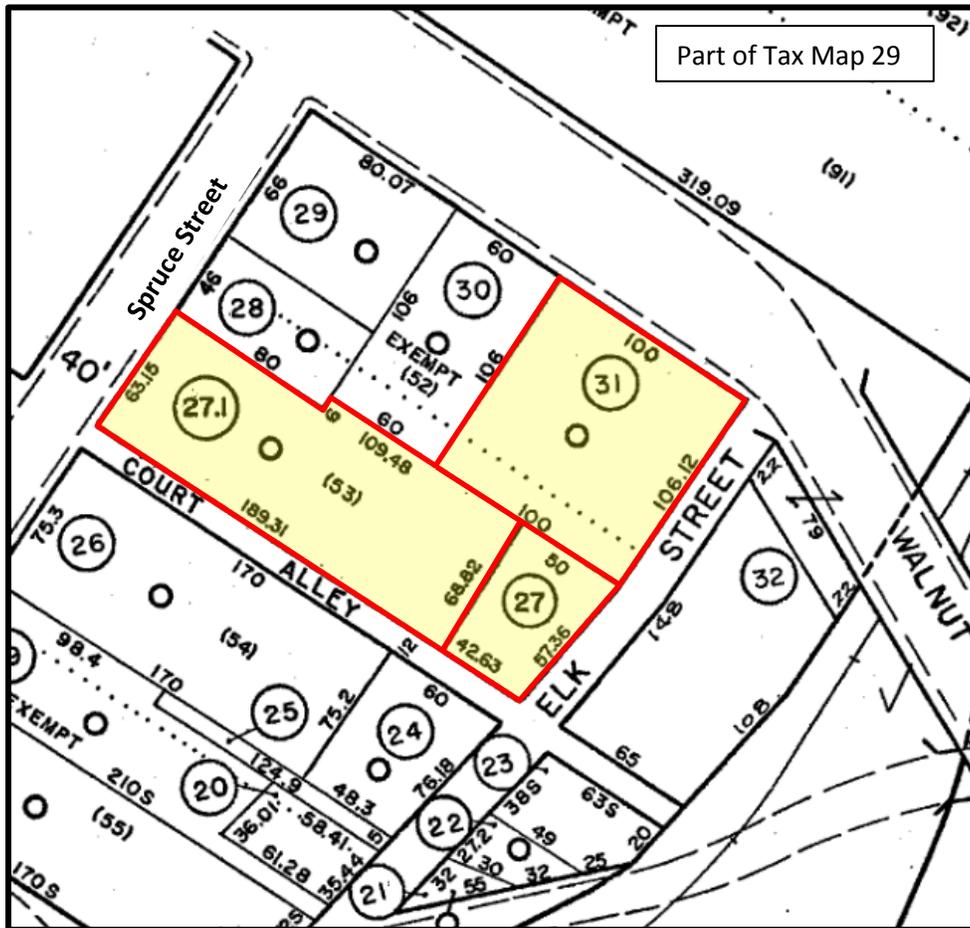
**Planning Division**

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# STAFF REPORT ADDENDUM A

S14-06-III / Morgantown Beauty College / 276 Spruce Street





## STAFF REPORT ADDENDUM B

### S14-06-III / Morgantown Beauty College / 276 Spruce Street

#### Concurrence with the 2013 Comprehensive Plan Update

The following narrative identifies where, in the opinion of the Planning Division, the subject development of significant impact is in concurrence and/or is inconsistent with the 2013 Comprehensive Plan Update.

<b>INTENT</b>	Development proposals will reflect the spirit and values expressed in the Plan's principals.
---------------	--

#### Principles for Land Management

Principal 1	Infill development and redevelopment of underutilized and/or deteriorating sites takes priority over development in green field locations at the city's edge.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
	<i>The subject site is located within the "Encouraged Growth" area, the "Core" pattern and character area, and the "Downtown Enhancement" concept area and is not located within a green field location at the city's edge. Additionally the development represents a unique opportunity for adaptive reuse of portions of an existing building.</i>	
Principal 2	Expansion of the urban area will occur in a contiguous pattern that favors areas already served by existing infrastructure.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
	<i>The subject site is located within the central urban core and appears to be supported by existing multi-modal transportation options and adequate utility infrastructure capacity.</i>	
Principal 3	Downtown, adjacent neighborhoods and the riverfront will be the primary focus for revitalizations efforts.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
	<i>The subject site is located within the B-4 District, where public and private investments leverage the downtown's proximity to the University campus and strengthen of the city's urban core in terms of walkability, customer-base, and proximity to residents' primary destinations. Additionally the development represents a unique opportunity for adaptive reuse of portions of an existing building.</i>	
Principal 4	Existing neighborhoods throughout the city will be maintained and/or enhanced.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
	<i>The subject site is not located within or adjacent to a "Neighborhood Conservation" area.</i>	

Principal 5	Quality design is emphasized for all uses to create an attractive, distinctive public and private realm and promote positive perceptions of the region.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>The developer's professional design team has consulted with the Downtown Design Review Committee and incorporated modifications that appear to address the Committee's comments and suggestions in terms of architectural style, cladding material, window rhythm, etc.</i></p>		
Principal 6	Development that integrates mixed-uses (residential, commercial, institutional, civic, etc.) and connects with the existing urban fabric is encouraged.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>The proposed development includes residential and a street-level nonresidential use and represents a unique opportunity to modestly increase residential density and deliver substantially renovated space for the Morgantown Beauty College within the downtown central business district. The urban fabric within the immediate built environment is heterogeneous given the various development pattern and character types, scales and densities, forms and functions, and construction periods.</i></p>		
Principal 7	Places will be better connected to improve the function of the street network and create more opportunities to walk, bike and access public transportation throughout the region.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>The subject site is located within the downtown central business district, is well served by public transit along High Street, and is within walking and biking distance of the University campus and the downtown PRT station. Renovation of the site to include over-store dwellings links residents to alternate modes of transportation thereby reducing auto dependency within the City and mitigating increased traffic congestion created by commuting traffic from outside the City.</i></p>		
Principal 8	A broad range of housing types, price levels and occupancy types will provide desirable living options for a diverse population.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>The proposed development program creates new urban housing opportunities within the downtown central business district through the adaptive reuse of portions of an existing building. The site is currently built as a single commercial use. Given the infancy of the 2013 Comprehensive Plan adoption, zoning ordinance dictates and/or guidelines concerning desired tenancy, affordability, and workforce housing opportunities have not been developed or enacted.</i></p>		

Principal 9	Residential development will support the formation of complete neighborhoods with diverse housing, pedestrian-scaled complete streets, integrated public spaces, connection to adjacent neighborhoods, and access to transportation alternative and basic retail needs.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<i>The site is within the B-4, General Business District and located within a short walk to basic retail goods and services, civic, institutional, and public spaces located within the central downtown business district and the University's downtown campus.</i>		
Principal 10	Parks, open space, and recreational areas are incorporated as part of future development.	<input type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Other
<i>The proposed development program provides for the adaptive reuse of a portion of the existing building and substantial renovations for the Morgantown Beauty College space. The development program will be contained within the existing building footprint. Therefore, the creation of parks, open space, and/or recreational areas on the site is not feasible. However, it should be noted that the development program includes improvements to the adjoining parking lot including buffer screening along Spruce Street, which should enhance the streetscape and the public realm.</i>		
Principal 11	Environmentally sensitive and sustainable practices will be encouraged in future developments.	<input type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Other
<i>The development program will be contained within the existing building footprint and will have no impact on environmentally sensitive areas. The developer has successfully employed energy efficiency and environmentally friendly best practices in delivering the "Living Zone 270" development adjacent to the subject site.</i>		

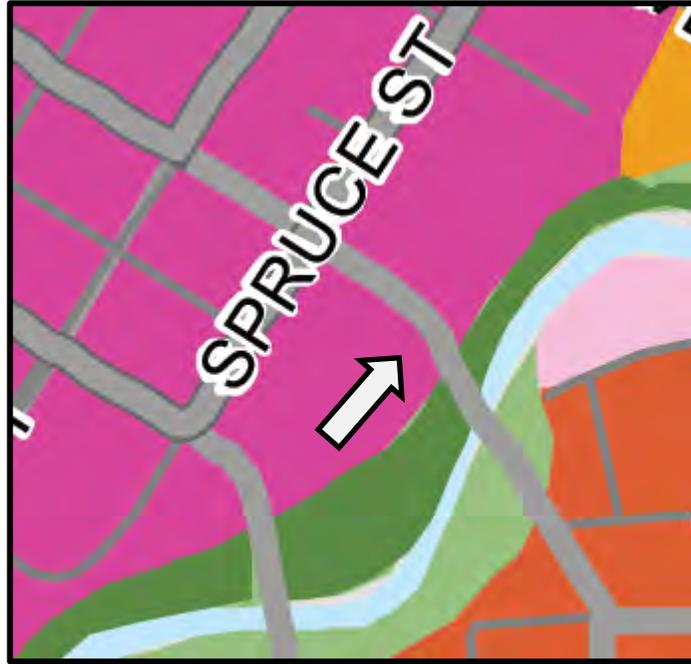
**LOCATION**

Development proposals will be consistent with the Land Management Map. If the proposal applies to an area intended for growth, infill, revitalization, or redevelopment, then it should be compatible with that intent and with any specific expectations within Areas of Opportunity. If the proposal applies to an area of conservation or preservation, it should be compatible with and work to enhance the existing character of the immediate surroundings.

The following graphic is clipped from the **Conceptual Growth Framework Map** included on Page 19 of the 2013 Comprehensive Plan Update. The subject development site is located within the “**Encouraged Growth**” area.



The following graphic is clipped from **Map 3 – Pattern and Character** included on Page 27 of the 2013 Comprehensive Plan Update. The subject development site is located within the “**Core**” pattern and character area.



**Core.** The Core is the zone of densest development and is generally defined as Downtown Morgantown. The area has the highest level of connectivity with a grid street pattern with short walkable block lengths. Buildings range from two to twelve stories and are located close to each other and to the street. A mixed-use district, the core contains a range of retail, office, institutional and residential activities, with many buildings containing multiple uses within them. The street, network, building density and mix of uses support a high degree of pedestrian mobility.



The following graphic is clipped from **Map 4 – Land Management** included on Page 39 of the the 2013 Comprehensive Plan Update. The subject development site is located within the “**Downtown Enhancement**” concept area.



- Downtown Enhancement:** Continued infill and redevelopment in the Downtown core with a mix of employment, civic, commercial and residential uses as described in the 2010 Downtown Strategic Plan Update.

**PATTERN AND CHARACTER**

Development proposals in growth areas will be consistent with preferred development types. Development in areas where growth is not intended should be compatible with the relevant Character Areas description and expectations for how those areas should evolve in the future.

The following graphics are clipped from Pages 41 through 43 of the 2013 Comprehensive Plan Update and identify the development types desired within the “Core Enhancement” concept area.

Appropriate Development Types

CONCEPT AREA	SF	TF	MF	C	NX	UC	CC	O	I	CD	OS
Core Enhancement			•	•	•	•					•

**MF Multi-family Residential**

Includes various forms such as apartment buildings where three or more separate residential dwelling units are contained with a structure and townhouse dwelling types. They vary considerably in form and density depending on the context – from four-story or larger buildings set close to the street in and at the edge of the downtown core and along major corridors, to smaller two- to four-story buildings with greater street setbacks in areas between the downtown core and single-family neighborhoods.



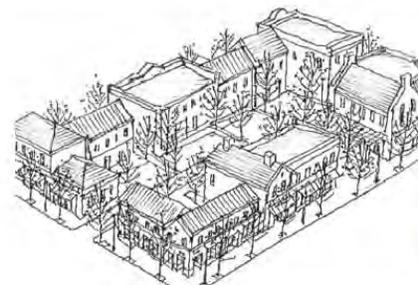
**C Civic and Institutional**

These sites include both public uses (government buildings, libraries, community recreation centers, police and fire stations, and schools) and semi-public or private uses (universities, churches, hospital campuses). Public uses should be strategically located and integrated with surrounding development. Civic and Institutional sites may be distinctive from surrounding buildings in their architecture or relationship to the street.



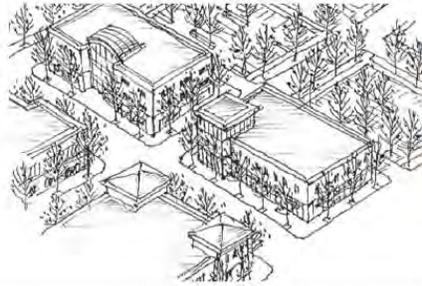
**NX Neighborhood Center Mixed-Use**

A mix of housing, office, commercial, and civic uses adjacent to one another or contained within the same structure (such as offices or apartments above ground-floor retail). Such uses should be compatible with and primarily serve nearby neighborhoods (within 1/2 mile). Parking should be located behind or to the side of buildings and may be shared between multiple uses.



**UC Urban Center Mixed-Use**

A mix of housing, office, commercial, and civic uses located adjacent to one another or sharing the same building. Buildings are generally larger in scale than neighborhood mixed-use and contain more employment and commercial uses that serve the broader community. Buildings should be located near the street with parking provided on-street or in shared parking configurations behind or between buildings.



**OS Greenspace**

Includes formal parks, recreation areas, trails, and natural open space.



**OBJECTIVES  
AND  
STRATEGIES**

**Land Management**

**A. Goal**

Efficient and attractive use of land resources that strengthens the quality, character, and upkeep of the built environment while balancing redevelopment and strategic expansion with open space preservation.

**Objective 1. Strengthen Downtown.**

➔ LM 1.5 Create incentives for developers to build residential units downtown that will serve a broad age and socioeconomic range.

**Objective 5. Encourage land use patterns that support improved transportation choice and efficiency.**

➔ LM 5.2 Permit higher density development in areas that are well-supported by existing or planned transportation infrastructure or transit services.

**OBJECTIVES  
AND  
STRATEGIES**

**Neighborhoods and Housing**

**A. Goal**

Attractive, well-maintained neighborhoods that offer a broad mix of desirable housing options and convenient access to services and amenities.

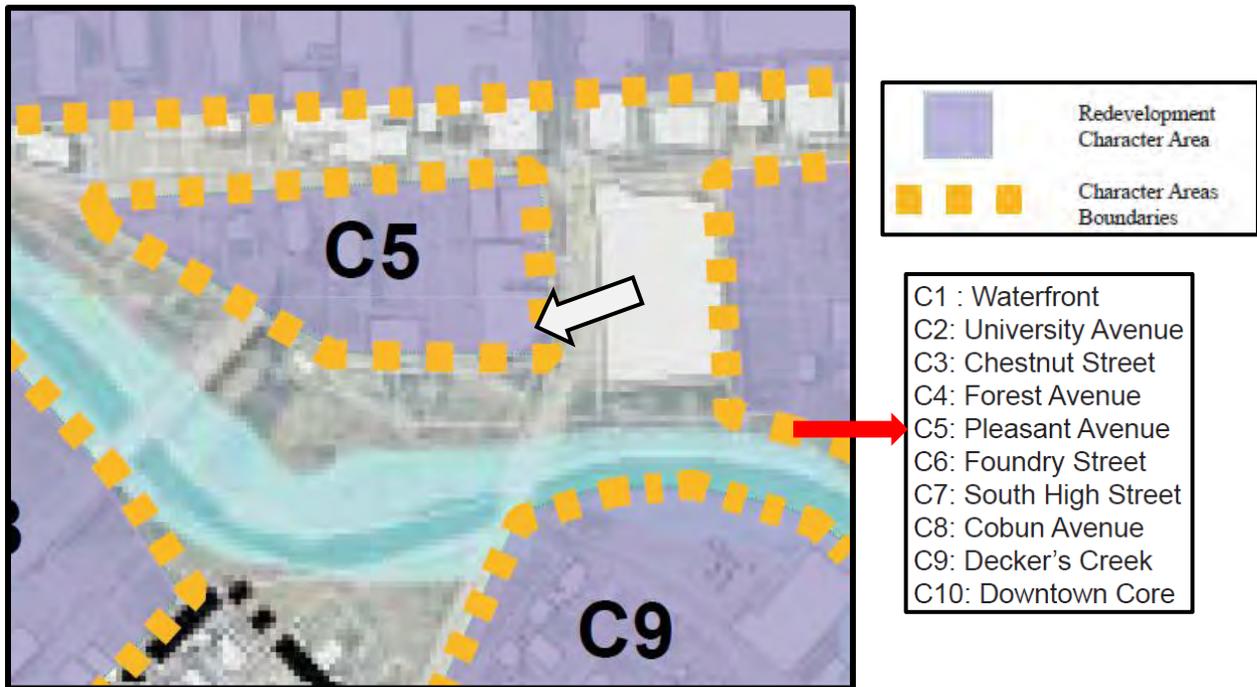
**Objective 4. Promote the development of a broad range of housing types and prices.**

➔ NH 4.1 Provide incentives to developers to encourage development of alternative housing types (i.e. higher density, live-work, mixed-use) in designated growth areas.

**2010 Downtown Strategic Plan**

**Concurrence with the 2010 Downtown Strategic Plan**

The following graphics have been clipped from the 2010 Downtown Strategic Plan.



Clipped from Page 42

## 6.0 Downtown Strategies

### 6.3.1.5 Character Area C5 – Pleasant Street

<p><b>STRENGTHS</b></p> <ul style="list-style-type: none"> <li>• Historic architecture.</li> <li>• Pleasant Street Bridge creates a nice gateway.</li> <li>• Adjacent to cultural facilities.</li> <li>• Gateway to the historic South Park neighborhood.</li> <li>• Close to Morgantown High School.</li> <li>• Adjacent to Deckers Creek and Trail.</li> </ul>	<p><b>CHALLENGES</b></p> <ul style="list-style-type: none"> <li>• Vacant sites without buildings.</li> <li>• Several buildings have not been maintained well and detract from the quality of the area.</li> <li>• Topography makes it difficult to access Deckers Creek.</li> </ul>
<p><b>OPPORTUNITIES</b></p> <ul style="list-style-type: none"> <li>• Infill with new attractive buildings.</li> <li>• Enhance streetscape.</li> <li>• Establish new restaurants to take advantage of location near cultural facilities and neighborhoods.</li> <li>• Redevelopment of underutilized or functionally and economically obsolete buildings along Pleasant Street.</li> </ul>	

#### VISION / DEVELOPMENT THEME

A mixed-use district that contains offices, parks, has direct access to Deckers Creek, and contains other cultural and entertainment venues.

#### ACTIONS

6.3.1.5a Adopt and enforce Main Street Morgantown Urban Design Guidelines and Design Guidelines for Public Projects.

6.3.1.5b Create specific design guidelines for the “Pleasant Street Character Area”.

#### General Intent / Goals

Dense pedestrian friendly mixed-use village with buildings that are organized on an urban street pattern and along open space connections to the Creek and River. Infill buildings should be compatible with the existing historic fabric of downtown as per the Main Street Downtown District Design Guidelines.



## 6.0 Downtown Strategies

### Planning Requirements

- Create a direct trail connection to Deckers Creek and Morgantown High School.
- Enhance the streetscape along Pleasant Street.
- Create balance and harmony in the vertical and horizontal massing of buildings
- Create a consistent architectural style and palette of materials
- Create a small park adjacent to the existing law offices on the western corner of Pleasant and Spruce Street to serve as gateway to Deckers Creek and to provide small public space for this portion of downtown.
- Areas characterized as “New Mixed-Use Development” in Figure 18 will offer retail/commercial on the ground floor and either office or residential on the upper floors.



*Inspirational imagery depicting the Old Stone House Garden which has been created as a public park between two historic homes, located in Georgetown in Washington, DC.*



## 6.0 Downtown Strategies

### Building Height

New buildings should be a maximum height of four (4) stories or 50' or a minimum of two (2) stories or 32' to promote a mix of uses and a continuous urban edge.

### Setbacks

As described in the B-4 Zoning District.

### Parking and Access

As described in the B-4 Zoning District with the addition of the City offering an option for reduced required parking amounts for downtown residential developers as described under Transportation Section 6.4.2.

### Building Placement

- Buildings should be oriented along streets and open spaces along an established "build to line" so that an urban edge is created with the buildings.
- Building refurbishment and future development should exhibit continuity in the design of their facades.
- Buildings that front streets and open spaces should have a well designed and scaled first floor with human scaled elements, doors, windows, awnings, and stoops.
- Buildings should consider pedestrian scaled rhythms along the street and open space network and provide architectural breaks or interest every 30 - 50 feet of horizontal distance.

### Materials

Materials should conform to existing B-4 standards and be consistent with the materials chosen for the existing historic buildings within the "Pleasant Street Character Area". Materials, methods, treatment, and type for private projects should adhere to the Design Guidelines found under Section N of the Main Street Morgantown Urban Design Document. Materials, methods, treatments, and types for public projects should adhere to Main Street Morgantown's Design Guidelines for Public Projects found in Sections II to V. Select materials and finishes for proposed new buildings that are compatible with historic materials and finishes found in the surrounding buildings that contribute to the special character of the historic district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.

### Colors Palette

Warm and earth-toned colors will be encouraged predominantly. Brighter colors will be allowed but in limited accent areas.

### Architectural Style

Encourage an architectural reference for the "Pleasant Street Character Area" that draws inspiration from the many historic buildings that are part of the area as described within the Main Street Morgantown Urban and Public Projects Design Guidelines. Existing building renovations, rehabilitations, and adaptive reuses should follow the Main Street Morgantown Urban and Public Projects Design Guidelines.





*Clipped from Page 94*



## 6.0 Downtown Strategies

### 6.6 Housing and Redevelopment

**Goal:** Redevelop vacant and underperforming properties throughout the downtown and promote a variety of mixed-use housing in order to increase density and diversify the demographics of downtown residents.

**Objectives:**

- ➔ • Increase the supply, diversity, range, and affordability of housing opportunities within the downtown.
  - Increase the utilization of various tax credit programs that support the revitalization of existing buildings.
  - Pursue the development of mixed-use and residential development along the Riverfront and Deckers Creek.
- ➔ • Redevelop underutilized upper-floor spaces throughout the downtown to create 100-200 new housing units.

**Actions:**

- ➔ 6.6.1 Grow the downtown resident population by creating more, and a broader range of, housing opportunities. The following downtown and community-wide benefits are expected from the increase in housing:
  - Boost the captive market for community-serving retail goods and services downtown that will support new downtown residents and the residents of nearby neighborhoods.
  - Increase occupancy and mixed-uses of underutilized downtown buildings.
  - 24/7/365 living, activity, commerce, and energy will create a safer downtown.
- ➔ 6.6.2 Encourage the reuse and conversion of underutilized upper floors for new residential uses.

One of the functions of the recommended development subsidiary of Main Street Morgantown will be to provide property owners with historic rehabilitation and New Markets tax credit technical assistance that can cover a portion of rehabilitation costs. Technical assistance could be in the form of raising awareness of and participation in these and other similar financing tools; involving several property owners in aggregating their properties to make tax credit financing more efficient; identifying potential local tax credit investors; and, providing pro bono rehabilitation financing assistance.
- 6.6.3 Stimulate infill development of mixed-use buildings on vacant lots throughout the downtown.
- 6.6.4 Redevelop the areas along the Monongahela River in order to attract revitalization and infill projects in the downtown.
- ➔ 6.6.5 New housing should support and integrate a diversity of age groups and income levels.

6.6.6 Use development of new housing to better connect surrounding neighborhoods to the downtown.

Residents and workers in the surrounding neighborhoods pass through many of the downtown "Character Areas" when traveling to work, visiting businesses, and accessing recreational sites.

Developing housing along the Creek and the River will make these areas livelier and, in turn, will make the connections between the downtown and adjacent neighborhoods safer.

*Clipped from Pages 122 and 123*



City of Morgantown, West Virginia

APPLICATION FOR  
TYPE III SITE PLAN REVIEW

<b>OFFICE USE</b>	
CASE NO.	S14-06-III
RECEIVED:	8/8/14
COMPLETE:	

The Morgantown Planning Commission is responsible for approving Type III Site Plan Review Applications. There are two categories of Type III Site Plans Review Applications, 1) Developments of Significant Impact and 2) Major Developments of Significant Impact. Please check the category that best describes your proposed development:

Developments of Significant Impact (DSI):

- Residential Projects:..... 12 to 99 dwelling units
- Commercial Projects: ..... 15,000 square feet of gross floor area
- Office / Institution Projects:.... 15,000 square feet of gross floor area
- Industrial Projects..... 0 square feet to 99,999 square feet of gross floor area
- Mixed Use Projects ..... 15,000 square feet of gross floor area

Major Developments of Significant Impact (Major DSI):

- Residential Projects:..... 100 or dwelling units
- Commercial Projects: ..... 100,000 or more square feet of gross floor area
- Office / Institution Projects:.... 100,000 or more square feet of gross floor area
- Industrial Projects..... 100,000 or more square feet of gross floor area
- Mixed Use Projects ..... 100,000 or more square feet of gross floor area

(PLEASE TYPE OR PRINT IN BLACK INK)

I. APPLICANT			
Name:	Mike Sodomick	Phone:	304.292.8475
Mailing Address:	276 Spruce Street	Mobile:	347.365.0323
	Street Morgantown WV 26505	Email:	msodomick@gmail.com
	City State Zip		
II. AGENT / CONTACT INFORMATION			
Name:	bob lindsey	Phone:	304.288.3941
Mailing Address:	327 Prickets Fort Road	Mobile:	304.288.3941
	Street Fairmont WV 26554	Email:	rlindsey@buildinglabinc.com
	City State Zip		
Mailings –	Send all correspondence to (check one): <input type="checkbox"/> Applicant OR <input checked="" type="checkbox"/> Agent/Contact		
III. PROPERTY			
Owner:	Mike Sodomick	Phone:	304.292.8475
Mailing Address:	276 Spruce Street	Mobile:	347.365.0323
	Street Morgantown WV 26505	Email:	msodomick@gmail.com
	City State Zip		



APPLICATION FOR TYPE III SITE PLAN REVIEW

OFFICE USE	
CASE NO.	814-06-III
RECEIVED:	_____
COMPLETE:	_____

<b>IV. SITE</b>			
Street Address (if assigned):	276 Walnut Street	Zoning:	B4
Tax Map(s) #:	Map 29	Parcel(s) #:	27.1,27,31
Existing Use of Structure or Land:	Business - Beauty College		
Proposed Use of Structure of Land:	Business - Beauty College		
<b>V. STRUCTURE</b>			
Proposed Setbacks: Front:	0 ft.	Rear:	17 ft.
		Side A:	0 ft.
		Side B:	0 ft.
Proposed Height of Structure:	30'-0"	No. of Proposed Off-Street Parking Spaces:	45
No. of Dwelling Units (if applicable):	12	No. of Bedrooms:	12
		No. of Employees:	15
Square Footage of all Proposed Structures (please explain): no new square footage added....reworking of existing building foot print			
<b>VI. SITE PLAN REQUIREMENTS</b>			
All applications for Type III Site Plan Review must be accompanied by complete and accurate site plan exhibits that meet the requirements set forth in Article 510.08 of the Zoning Ordinance and provided herein as:  Addendum A.....Developments of Significant Impact Addendum B.....Major Developments of Significant Impact			
<b>IX. ATTEST</b>			
I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions.			
robert s. lindsey iii		08/08/2014	
Type/Print Name of Applicant/Agent	Signature of Applicant/Agent	Date	

- Applicants will be advised of the Technical Review Committee meeting date/time.
- Site Plan Review Fee – \$75 for first \$200,000 in construction costs; \$10 for each additional \$100,000

**NOT FOR CONSTRUCTION**

Revisions

Schematic Design

Design Development

Progress

Bidding

■ Building Permit

Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**

Project Address  
**MBC & Livingzone 276 Walnut Lofts**  
Martinsburg, West Virginia  
client address

8/1/2014 10:01:21 AM

Project Number: 09.011

PROJECTdata

1/16" = 1'-0"

Cover



Morgantown Beauty College &  
**LIVINGZONE 276 WALNUTlofts**

ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT.  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CONTRACTOR UNDER THE LAWS OF THE STATE OF WEST VIRGINIA

**A000**

**NOT FOR CONSTRUCTION**

Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

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**ARCHITECTURAL ABBREVIATIONS**

A.F.F.	above finished floor	CTR	ceramic tile	FPHB	frost proof hose bibb	LLH	long leg horizontal	PNL	panel	TBD	to be determined
AC	air conditioning	CTR	center	FR	frame / framed / framing	LLV	long leg vertical	POL	polished	TEL	telephone
AB	anchor bolt	D.F.	douglas fir	FS	floor sink	LOC	location	PR	pair	TERR	terrazzo
ABV	above	DEM	demolish / demolition	FSE	food service equipment	LP	low point	PRE.FIN	prefinished	TG	tempered glass
ACC	access	DEP	depressed	FTG	footing	LT	light	PROJ	projected / projection	THRESH	threshold
ACT	acoustical tile	DF	drinking fountain	FUR	furred, furring	LTL	lintel	PSF	pounds per square foot	TKS	tackstrip
AD	area drain	DIAG	diagonal	FVC	fire valve cabinet	LVR	louver	PSI	pounds per square inch	TO	top of
ADJ	adjacent	DIAM	diameter	GA	gage / gauge	MAS	masonry	PT	pressure treated	TS	top of sheathing
AGG	aggregate	DIM	dimension	GALV	galvanized	MAT	material / materials	PTD	painted	TSL	top of slab
ALT	alternate	DL	dead load	GC	general contract / general contractor	MAX	maximum	PTN	partition	TST	top of steel
ALUM	aluminum	DN	down	GD	grade / grading	MB	machine bolt	PVMT	pavement	TW	top of wall
AP	access panel	DO	door opening	GEN	general	MECH	mechanic / mechanical	QT	quarry tile	TYP	typical
APPROX	approximate	DPR	dispenser	GFRG	glass fiber reinforced concrete	MFR	manufacture / manufactured / manufacturer	RAD	radius	UC	undercut
ARCH	architect / architectural	DR	door	GFRG	glass fiber reinforced gypsum	MH	manhole	RCP	reinforced concrete pipe	UNO	unless noted otherwise
ASPH	asphalt	DS	downspout	GI	galvanized iron	MIC	microwave	RD	roof drain	UR	urinal
B.M.	bench mark	DTL	detail	GL	glass, glazing	MIN	minimum	REF	reference	VB	vapor barrier
B.N.	boundary nail	DW	dish washer	GS	gravel stop	MISC	miscellaneous	REFR	refrigerator	VB	vapor barrier
BLDG	building	DWG	drawing	GYP.BD.	gypsum board	MO	masonry opening	REG	register	VCT	vinyl composite tile
BLK	block	E	east	H.C.	hollow core	MR	moisture resistant	REINF	reinforce / reinforcement / reinforced	VERT	vertical
BLKG	blocking	EA	each	H.P.	high point	MTL	metal	REQ	required	VIF	verify in field
BM	beam	EB	expansion bolt	HB	hose bibb	N	north	RES	resilient	VJ	v-joint / v-jointed
BN	bull nose	EIFS	exterior insulation & finish system	HC	handicap	NAT	natural	RET	retaining	W	west
BO	bottom of	EJ	expansion joint	HDR	header	NIC	not in contract	RFL	reflect / reflected / reflective / reflector	W.P.	work point
BP	bent plate	EL	elevation	HDW	hardware	NO	number	RM	room	W/	with
BPL	bearing plate	ELEC	electric / electrical	HM	hollow metal	NTS	not to scale	RO	rough opening	WC	water closet
BRG	bearing	ELEV	elevator	HORZ	horizontal	O.D.	outside diameter	ROD	roof overflow drain	WD	wood
BTM	bottom	ELEV	elevation	HR	hour	OA	overall	RTU	roof top unit	WG	wired glass
BUR	built up roofing	EMP	employee	HT	height	OC	on center / on centers	S	south	WH	wall hung
CA	construction administration	EN	end nail	HTG	heating	OD	outside dimension	S/S	slop sink / service sink	WIN	window
CAB	cabinet	ENCL	enclosure	HVAC	heating / ventilating / air conditioning	OH	overhead	SC	solid core	WM	wire mesh
CB	catch basin	EP	electrical panelboard	HWD	hardwood	OJ	open web joist / open web joists	SGH	schedule	WO	without
CEM	cement	EQ	equal	HYD	hydrant	OPG	opening	SD	storm drain	WP	waterproofing
CER	ceramic	EQUIP	equipment	ID	inside diameter	OPH	opposite hand	SEC	section	WR	water resistant
CI	cast iron	EWC	electric water cooler	INCL	include / included / including	OPP	opposite	SF	square feet	WSC	wainscot
CIR	circle	EXH	exhaust	INFO	information	P.L.	property line	SHT	sheet	WT	weight
CJ	control joint	EXIST	existing	INSUL	insulation / insulating	P.S.	parapet step	SHTH	sheathing	WWF	welded wire fabric
CL	center line	EXP	exposed	INT	interior	P/L	plastic laminate	SIM	similar		
CLG	ceiling	EXPSN	expansion	INT	interior	PAR	parallel	SPEC	specification / specifications		
CLR	clear / clearance	EXT	exterior	INV	invert	PB	panic bar	SPL	special		
CM	construction manager	F.R.	fire rated / fire rating	JAN	janitor	PC	pipe column	SQ	square		
CMT	ceramic mosaic tile	FD	floor drain	JST	joist	PCST	pre-cast	SS	stainless steel		
CMU	concrete masonry unit	FDN	foundation	JST BRG	joist bearing	PED	pedestal	ST	suite		
CNTR	counter	FE	fire extinguisher	JT	joint	PERF	perforate / perforated	STA	station		
COL	column	FEC	fire extinguisher closet	KPL	kickplate	PFB	prefabricate / prefabricated	STD	standard		
CONC	concrete	FF	finish floor	LAD	ladder	PG	plate glass	STL	steel		
CONSTR	construction	FL	finish / finished	LAM	laminate / laminated	PL	plate	STRUCT	structure / structural		
CONT	continue or continuous	FLR	floor	LAV	lavatory	PLAM	plastic laminate	SUSP	suspended		
CONTR	contract / contractor	FOC	face of concrete	LB	lag bolt	PLAS	plaster	SYM	symmetry / symmetrical		
CPT	carpet / carpeted	FOM	face of masonry	LG	long	PLUMB	plumber / plumbing	SYS	system		
CRS	course	FOS	face of studs	LL	live load	PLYWD	plywood	T&G	tongue & groove		

**ABBREVIATION/LEGEND**

1

**MBC & Livingzone 276 Walnut Lofts**

Project Address:  
MBC & Livingzone 276 Walnut Lofts  
Martinsburg, WV  
client address

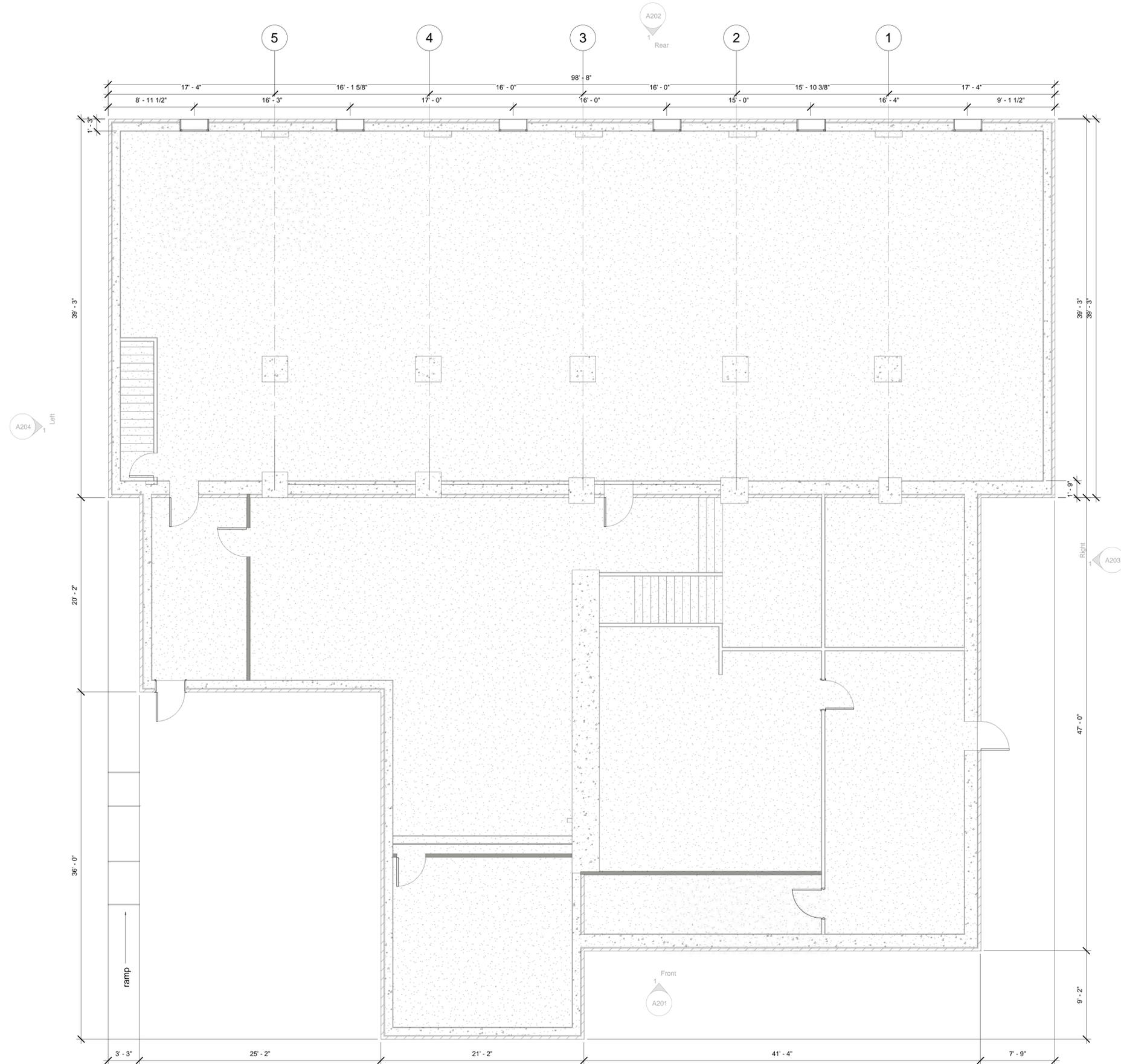
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Project Number: 09.011

PROJECT data

1 : 1  
Abbreviations & Legends

**A002**



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**

Project Address  
**MBC & Livingzone276 Apartments**  
200 Village East  
Martinsburg, West Virginia

7/31/2014 5:53:58 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
Basement Plan - Existing

Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

MBC & Livingzone276 Apartments

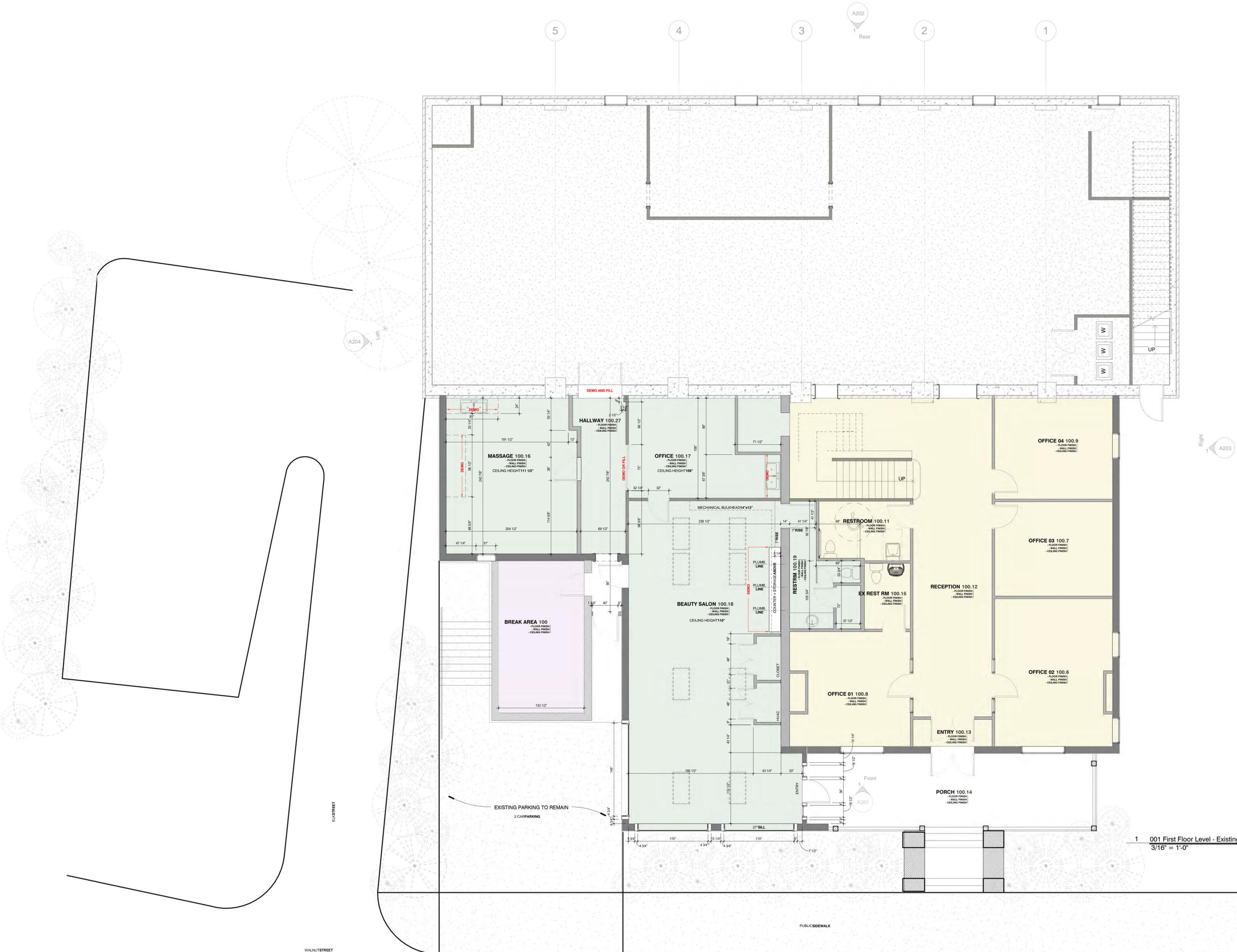
Project Address  
MBC & Livingzone276 Apartments  
200 Walnut St  
Martinsburg, West Virginia

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Project Number: 09.011  
PROJECTdata

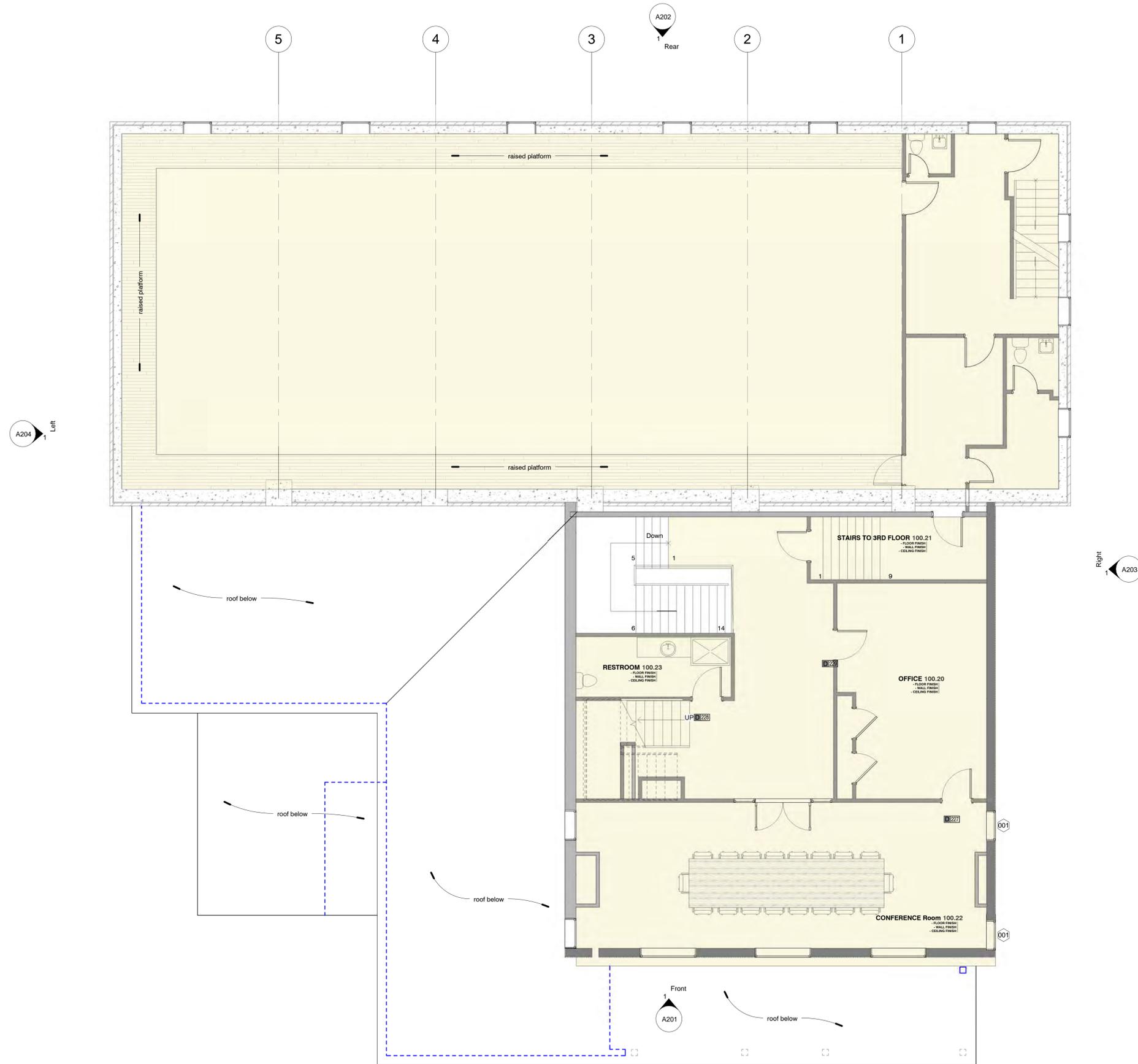
3/16" = 1'-0"

First Floor Plan - Existing

A091-E



1 001 First Floor Level - Existing  
3/16" = 1'-0"



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**

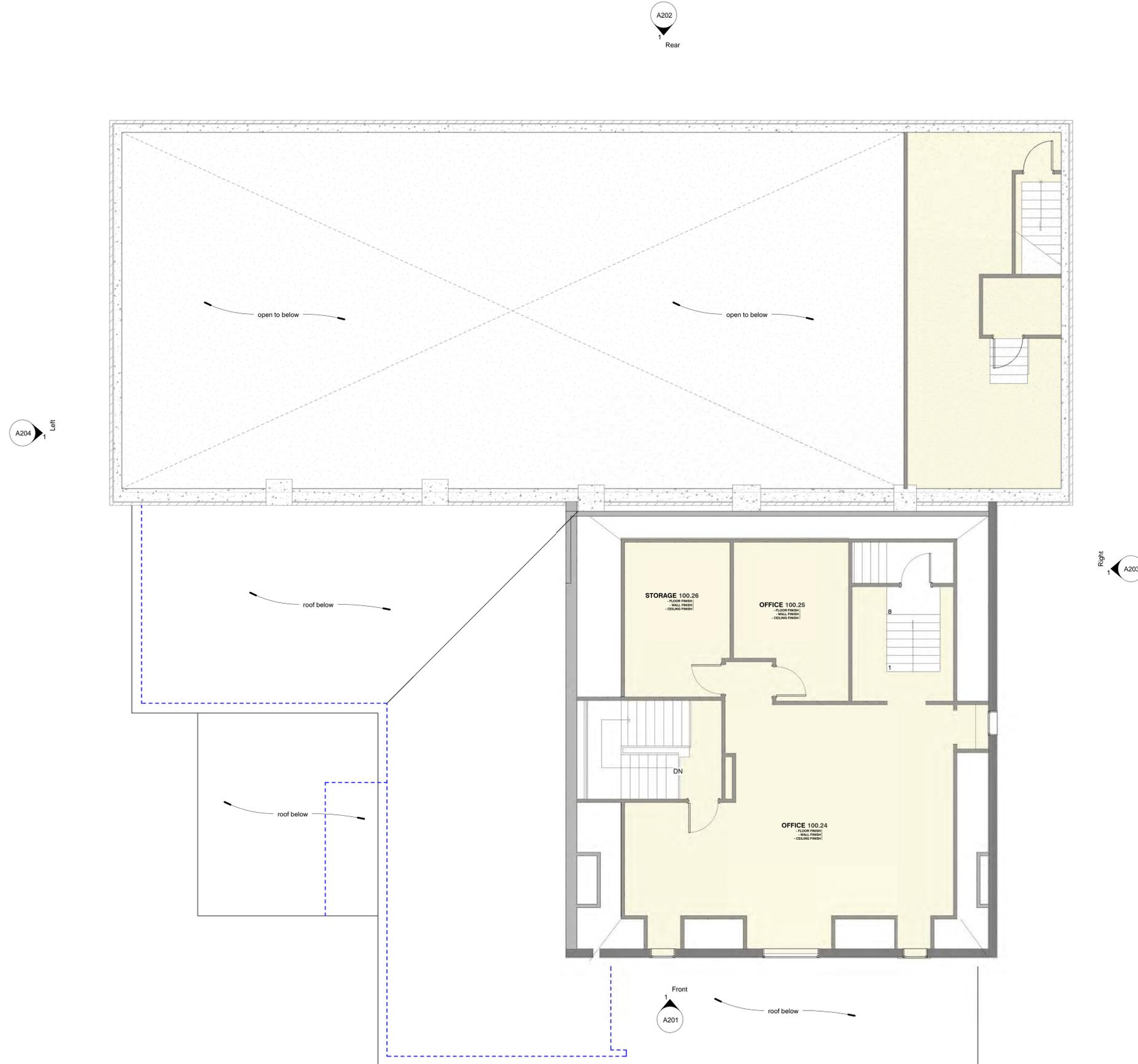
Project Address:  
**MBC & Livingzone276 Apartments**  
200 Walnut St.  
Morgantown, West Virginia

7/31/2014 5:54:09 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"

Second Floor Plan - Existing

1 002 Second Floor Level - Existing  
3/16" = 1'-0"



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**

Project Address  
**MBC & Livingzone276 Apartments**  
200 Valley Dr  
Morgantown, West Virginia

7/31/2014 5:54:14 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
Second Floor Loft  
Plan/Third Floor

1 002.5 Second Floor Loft - Existing  
3/16" = 1'-0"



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

MBC & Livingzone276 Apartments

Project Address  
MBC & Livingzone276 Apartments  
200 Village East  
Martinsburg, West Virginia

7/31/2014 5:13:46 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
Beauty College  
Learning level



1 00 Beauty College Learning level  
3/16" = 1'-0"

Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

MBC & Livingzone276 Apartments

Project Address  
MBC & Livingzone276 Apartments  
200 Walnut St  
Morgantown, West Virginia

7/31/2014 5:13:56 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
First Floor Plan



ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT.

**FLOOR PLAN NOTES:**

CONTRACTOR TO MEET ALL 2012 IBC INTERNATIONAL BUILDING CODES GUIDELINES AND REGULATIONS. ANY CONDITIONS THAT REQUIRE MODIFICATIONS DUE TO THE IBC MUST BE COMMUNICATED TO THE BUILDINGLAB.

ALL FINISHES, INTERIOR AND EXTERIOR ALONG WITH DOORS, WINDOWS, FIXTURES, HANDRAILS, MILLWORK, EQUIPMENT, SOFFIT, FASCIA, GUTTERS, DOWNSPOUTS, ETC. SHALL BE SELECTED BY BUILDINGLAB.

THE CONTRACTOR SHALL CONSULT WITH BUILDINGLAB TO VERIFY THE SCOPE OF HIS WORK; TO VERIFY ALL FINISHES, FIXTURES.

CONTRACTOR TO VERIFY GLAZING DIMENSIONS WITH STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

PROVIDE F.R.T. BLOCKING AS REQUIRED AT ALL AREAS DESIGNATED TO RECEIVE MILLWORK OR REQUIRE ADDITIONAL SUPPORT.

CARD READERS ARE SPECIFIED BY THE DESIGNERS AND/OR OWNER'S SECURITY CONSULTANTS.

PROVIDE MOISTURE RESISTANT (MR) GYPSUM BOARD IN ALL TOILET ROOMS & JANITORS CLOSET WALLS AND KITCHEN BACK SPLASH AREAS.

PROVIDE SOUND INSULATION BETWEEN INDIVIDUAL UNITS (WALLS CEILINGS, FLOORS), CEILINGS, AND ENCLOSING TOILET ROOMS.

WHERE GYP. BOARD FINISH IS REQUIRED ON CONCRETE OR CONCRETE BLOCK WALLS, USE 3/8" C-STUD OR 2-STUD @ 16" O.C. WITH 5/8" GYP. BOARD - UNLESS NOTED OTHERWISE, OR STUDS FOR SAID CONDITION THAT MEET WITH DESIGNERS APPROVAL.

SEAL PENETRATIONS IN SOUND AND FIRE RATED WALLS ACCORDING TO ALL BUILDING CODE AND UL STANDARDS; MEETING TRADE QUALITY STANDARDS OF PRACTICE AS WELL.

**NOT FOR CONSTRUCTION**

Revisions

**Schematic Design**

Design Development

Progress

Bidding

Building Permit

Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**

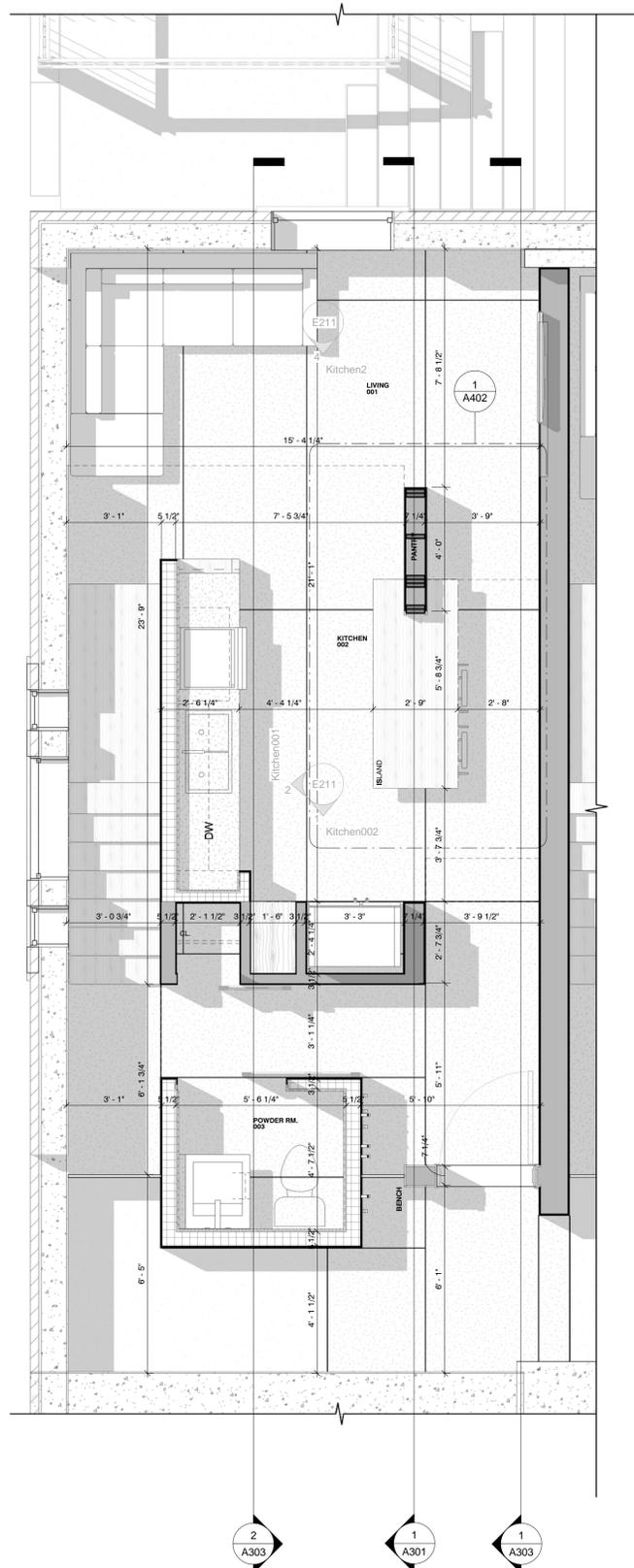
Project Address:  
**MBC & Livingzone 276 Walnut Lofts**  
Morgantown, West Virginia  
client address

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Project Number: 09.011  
PROJECTdata

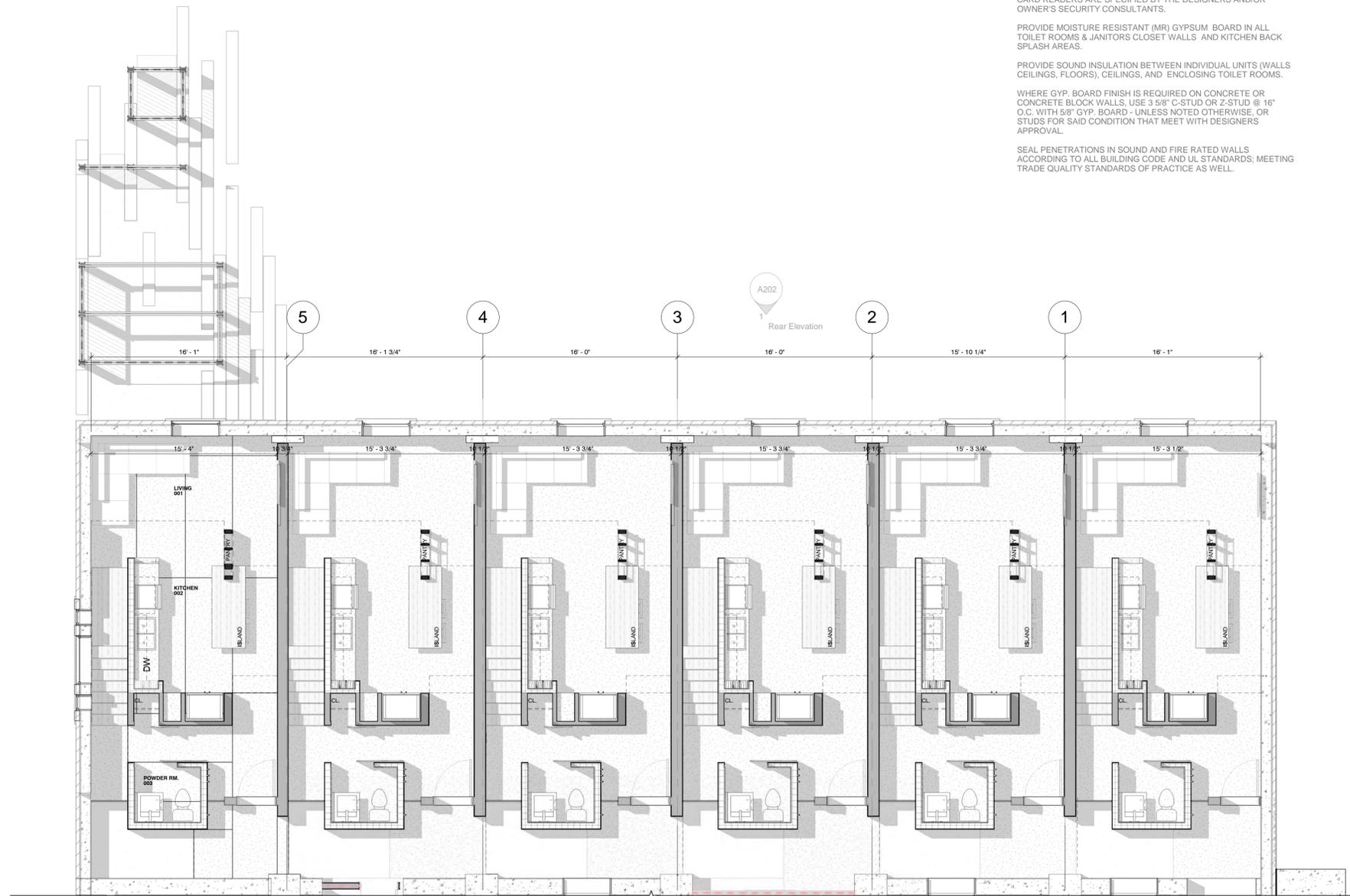
As indicated

First Floor Plan

Number	Room Name	Room Finish Schedule				Comments
		Floor	Base	Wall	Ceiling	
001	LIVING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
002	KITCHEN	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
003	POWDER RM.	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
004	BATHROOM	TILE	T.B.D	TILE	TILE	
005	MICRO OFFICE	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
006	RESTING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	



2 001 First Floor Level Dimensions  
3/8" = 1'-0"



1 001 First Floor Level  
3/16" = 1'-0"



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**

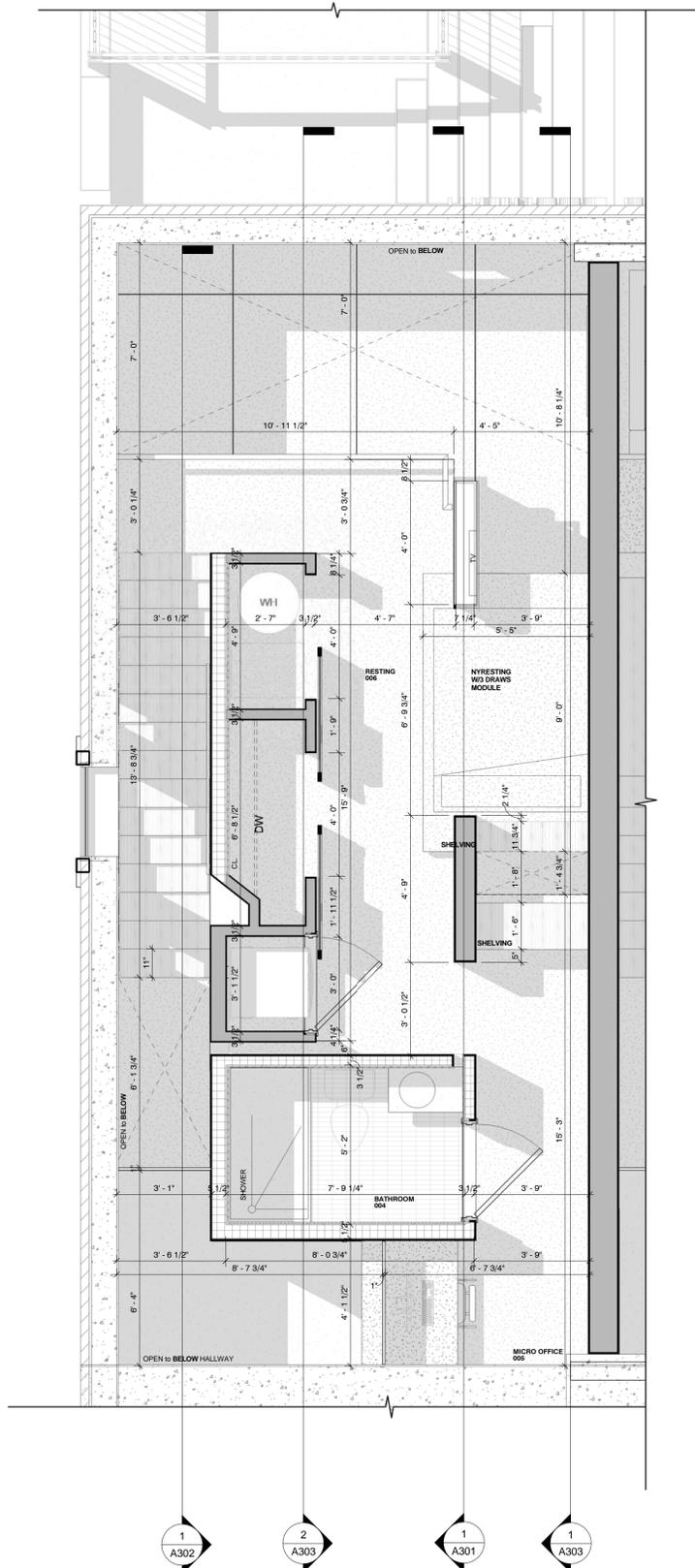
Project Address  
**MBC & Livingzone276 Apartments**  
200 Village East  
Martinsburg, West Virginia

7/31/2014 5:14:03 PM  
Project Number: 09.011  
PROJECTdata

1 001.5 First Floor Loft  
3/16" = 1'-0"

3/16" = 1'-0"

First Floor Loft Plan



2 001.5 First Floor Loft Dimensions  
3/8" = 1'-0"

Room Finish Schedule						
Number	Room Name	Floor	Finish			Comments
			Base	Wall	Ceiling	
001	LIVING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
002	KITCHEN	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
003	POWDER RM.	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
004	BATHROOM	TILE	T.B.D	TILE	TILE	
005	MICRO OFFICE	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
006	RESTING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	

**FLOOR PLAN NOTES:**

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CONTRACTOR TO VERIFY GLAZING DIMENSIONS WITH STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

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**NOT FOR CONSTRUCTION**

Revisions

**Schematic Design**

**Design Development**

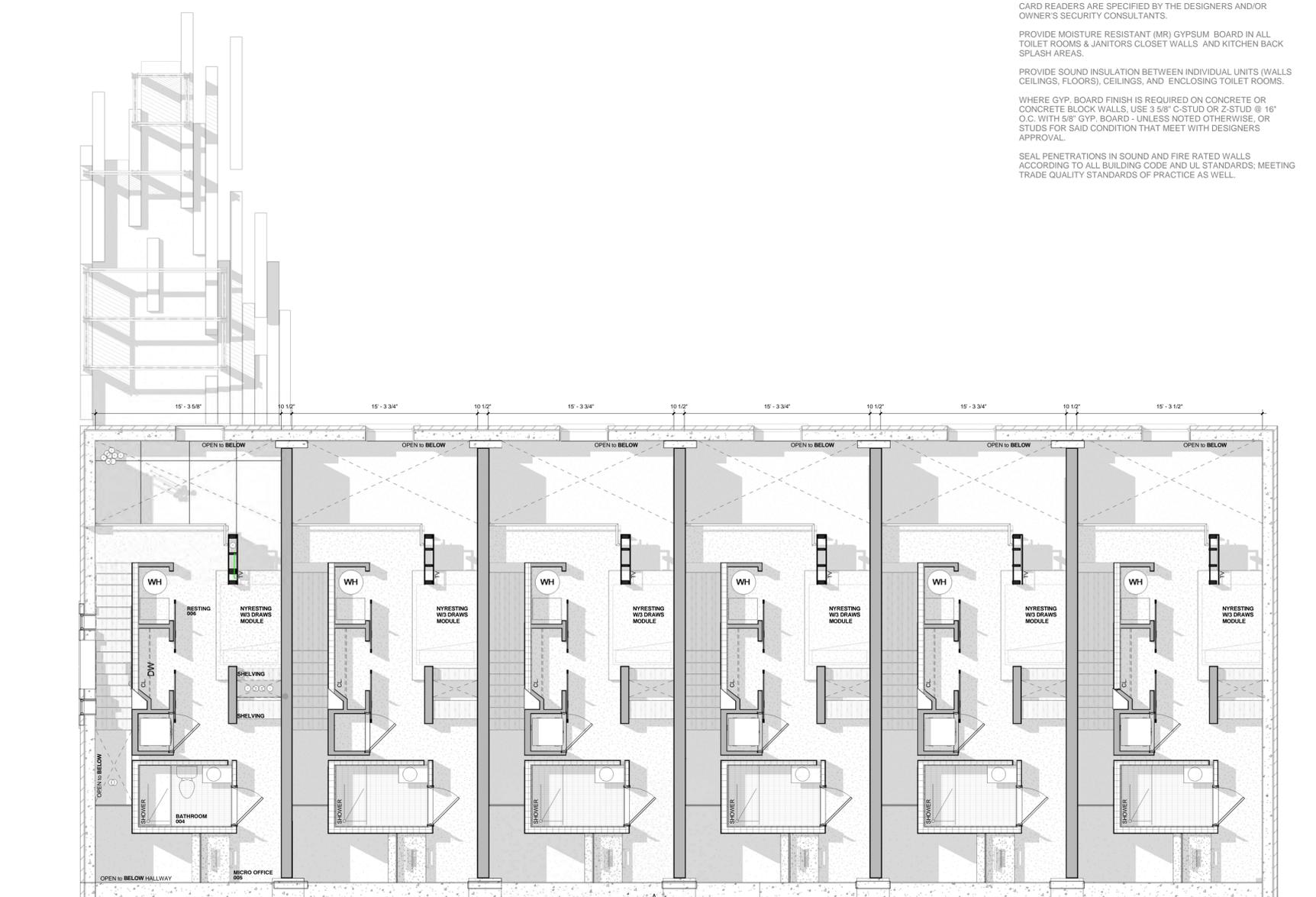
**Progress**

**Bidding**

**Building Permit**

**Construction Documents**

Client Signature for Phase Completion



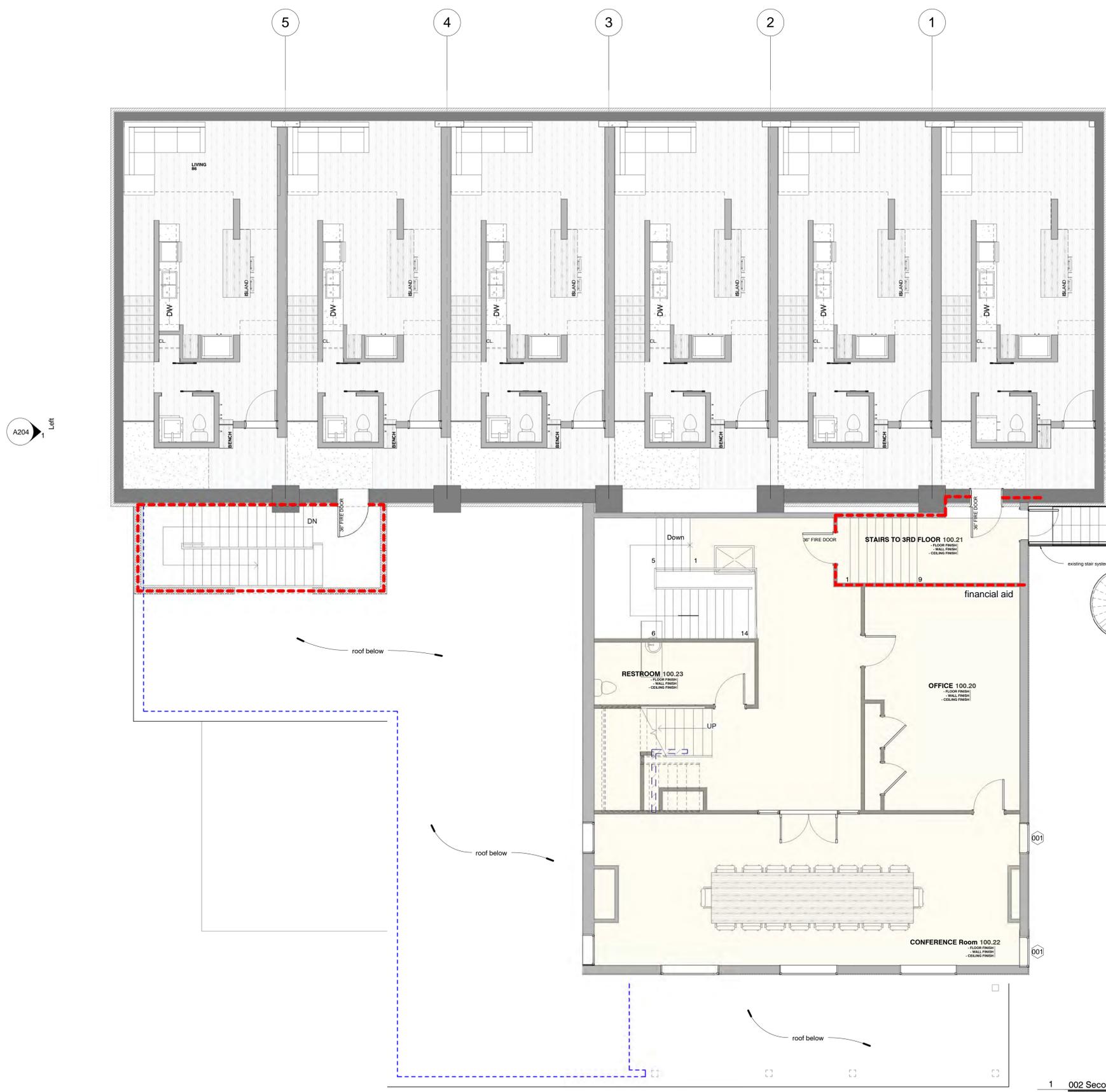
1 001.5 First Floor Loft  
3/16" = 1'-0"

**MBC & Livingzone 276 Walnut Lofts**

Project Address  
**MBC & Livingzone 276 Walnut Lofts**  
Micro Office, West Virginia  
client address

8/1/2014 10:02:05 AM  
Project Number: 09.011  
PROJECTdata

As indicated  
First Floor Loft Plan



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**

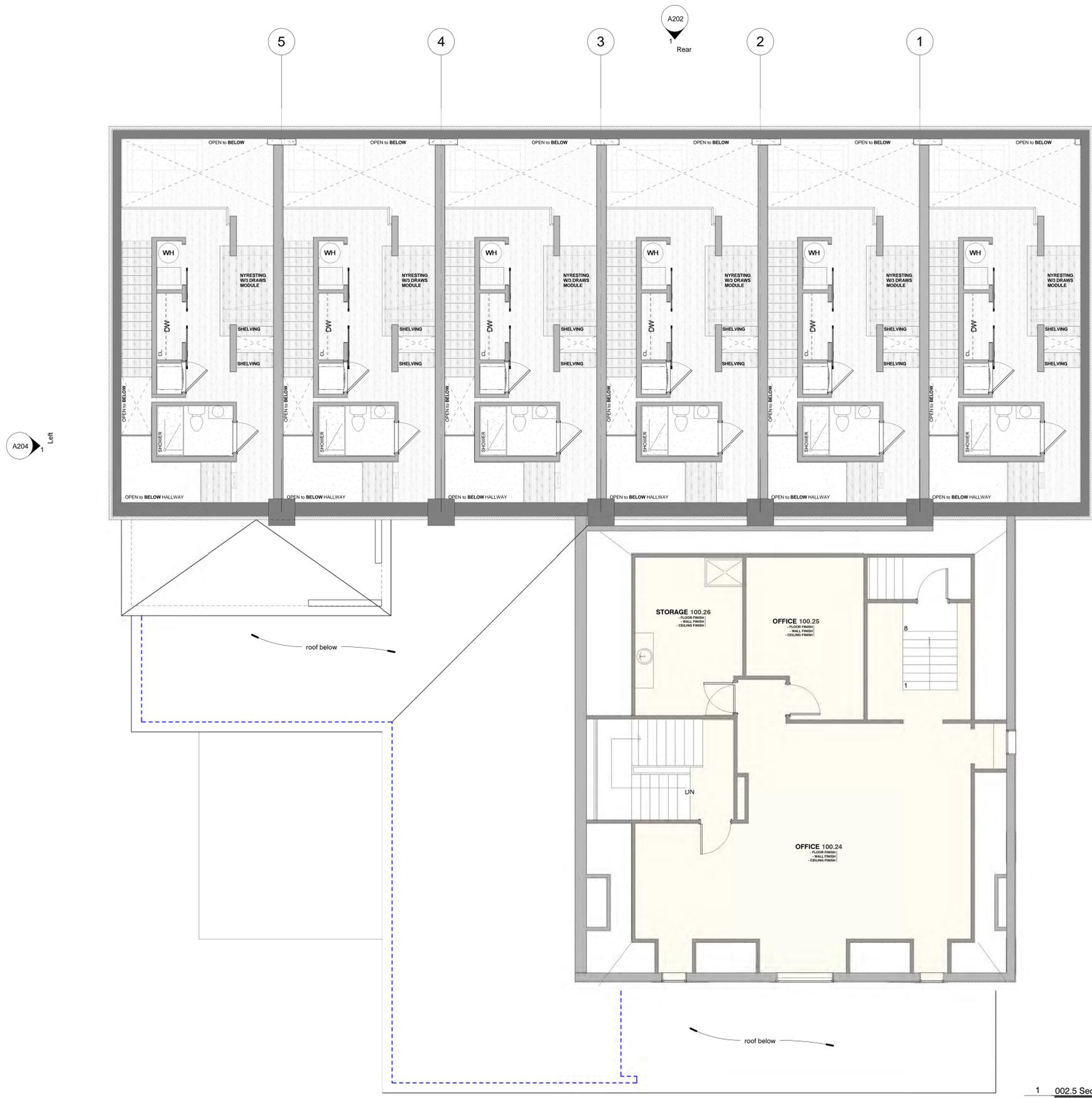
Project Address  
**MBC & Livingzone276 Apartments**  
200 Village Dr  
Martinsburg, West Virginia

7/31/2014 5:14:10 PM  
Project Number: 09.011  
PROJECTdata

1 002 Second Floor Level  
3/16" = 1'-0"

3/16" = 1'-0"  
Second Floor Plan





- Revisions
- 
- Schematic Design  
 Design Development  
 Progress  
 Bidding  
 Building Permit  
 Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**  
 Project Address  
**MBC & Livingzone276 Apartments**  
 200 Village East  
 Morgantown, West Virginia

7/31/2014 5:14:17 PM  
 Project Number: 09.011  
 PROJECTdata

1 002.5 Second Floor Loft  
 3/16" = 1'-0"

3/16" = 1'-0"  
 Second Floor Loft  
 Plan/Third Floor

ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT.

# (RETHINKbeauty)

opening the minds of students

**Time, Experience, Memory**  
Through experience we are conscious of time. Through time, our experiences become memories, influencing both conscious and unconscious thought. It is through our five senses; touch, sight, hearing, smell and taste, that these experiences are gathered. We are also born with inherent knowledge that our species has collected from generation to generation. This inherent knowledge, collective unconscious, has a direct effect on the way we perceive experiences from our senses. The challenge of this project is to create a space that offers a place to pause and reflect on life.

**Inherent Knowledge**  
Inherent knowledge, collective unconscious, is the reservoir of our experiences as a species which is instilled within us at birth. The collective memories of Light, Shadow, Fire, and Water provide the bases for your project. These primordial elements when stitched together with the individuals experiences, from the womb to the tomb, will create a paradigm in the way one enters and leaves this space.



1 Front Elevation FOR STRUCTURAL ENGINEERING DRAWINGS FOR ALL BEAM, COLUMN, & STRUCTURAL MEMBERS  
3/16" = 1'-0"

EXTERIOR:			MATERIALS & FINISHES
NO.	MATERIAL	DESCRIPTION	MANUFACTURER / SUPPLIER
01	CONCRETE	CONCRETE MIX DESIGN T.B.D., MDO FORMS, RETARDER AND SEALANT T.B.D. VERTICAL WALLS	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
02	S.S. C CHANNELS	DOUBLE C CHANNELS - STAINLESS STEEL	WILSON WORKS: CONTACT RUSTY - 304.296.5447
03	GREEN SCREEN	HIGH TENSION CABLES AND CONNECTIONS TO MATCH EXISTING	LOCAL SUPPLIER
04	WOOD SIDING	WOODEN SIDING TO MATCH EXISTING SIDING IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
05	WOODEN COLUMNS	WOODEN COLUMNS TO MATCH EXISTING COLUMNS IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
06	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, POLISHED, SEALANT T.B.D. - BENCH SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
07	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, RETARDER AND SEALANT T.B.D. FLOORING SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
08	GLAZING	GLAZING TO MACH EXISTING GLASS, FRAME, WINDOW	ROYAL GLASS: CONTACT MIKE - 304.366.3791
09	METAL	1/2" METAL PLATE, S.S. STEEL, CUT-WATER JET, SANDED 320 GRIT, CONNECTION T.B.D.	WILSON WORKS: CONTACT RUSTY - 304.296.5447

NOTE: ...

**BuildingLAB**  
1650 speedway  
fairmont, wv 26554  
ph: 304.288.3941  
1301 Quail Roost  
pittsburgh, pa 15237  
ph: 412.849.8845  
www.buildinglabinc.com



FLOOR PLAN KEY

NOT FOR CONSTRUCTION  
Revisions

- Schematic Design
- Design Development
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- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**  
Project Address  
MBC & Livingzone 276 Walnut Lofts  
Morgantown, West Virginia  
client address

8/1/2014 10:03:17 AM  
Project Number: 09.011  
PROJECTdata

As indicated  
Front Elevation

**A201**

ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CONTRACTOR UNDER THE LAWS OF THE STATE OF WEST VIRGINIA.

FLOOR PLAN KEY:



NOT FOR CONSTRUCTION

Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

MBC & Livingzone 276 Walnut Lofts

Project Address  
MBC & Livingzone 276 Walnut Lofts  
Martinsburg, West Virginia  
client address

8/1/2014 10:03:33 AM  
Project Number: 09.011  
PROJECTdata

As indicated  
Rear Elevation

EXTERIOR:		MATERIALS & FINISHES	
NO.	MATERIAL	DESCRIPTION	MANUFACTURER / SUPPLIER
01	CONCRETE	CONCRETE MIX DESIGN T.B.D., MDO FORMS, RETARDER AND SEALANT T.B.D. VERTICAL WALLS	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
02	S.S. C CHANNELS	DOUBLE C CHANNELS - STAINLESS STEEL	WILSON WORKS: CONTACT RUSTY - 304.296.5447
03	GREEN SCREEN	HIGH TENSION CABLES AND CONNECTIONS TO MATCH EXISTING	LOCAL SUPPLIER
04	WOOD SIDING	WOODEN SIDING TO MATCH EXISTING SIDING IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
05	WOODEN COLUMNS	WOODEN COLUMNS TO MATCH EXISTING COLUMNS IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
06	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, POLISHED, SEALANT T.B.D. - BENCH SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
07	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, RETARDER AND SEALANT T.B.D. FLOORING SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
08	GLAZING	GLAZING TO MACH EXISTING GLASS, FRAME, WINDOW	ROYAL GLASS: CONTACT MIKE - 304.366.3791
09	METAL	1/2" METAL PLATE, S.S. STEEL, CUT-WATER JET, SANDED 320 GRIT, CONNECTION T.B.D.	WILSON WORKS: CONTACT RUSTY - 304.296.5447

NOTE: ...



**03**

**Green Screen**

Green Screen is a three dimensional, welded wire trellising system. The distinctive modular trellis panel is the building block of the greenscreen system. Rigid and lightweight standard 3" or 2" tick panels are 4' wide x 6', 8', 1'-, 12' or 14' tall. www.greenscreen.com



**06**

**Concrete Polished**

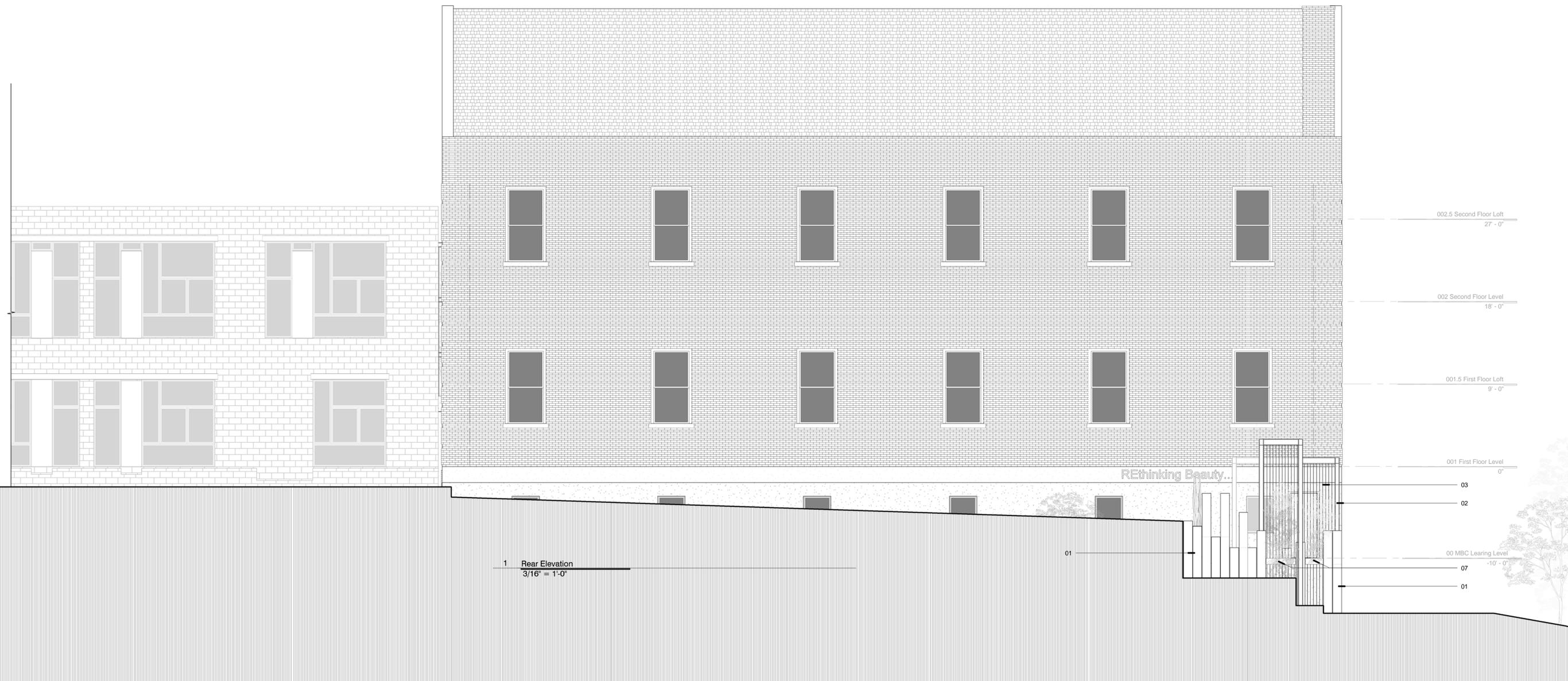
Concrete allows you to use a limited palette of materials comprised of concrete and the components which embody the mix; water, limestone chips or pea gravel, number 2 limestone gravel, and portland cement. We explore three aspects of the materials; the texture, the finish, and the resulting reaction to light.



**07**

**Concrete Exposed Aggregate**

Concrete allows you to use a limited palette of materials comprised of concrete and the components which embody the mix; water, limestone chips or pea gravel, number 2 limestone gravel, and portland cement. We explore three aspects of the materials; the texture, the finish, and the resulting reaction to light.

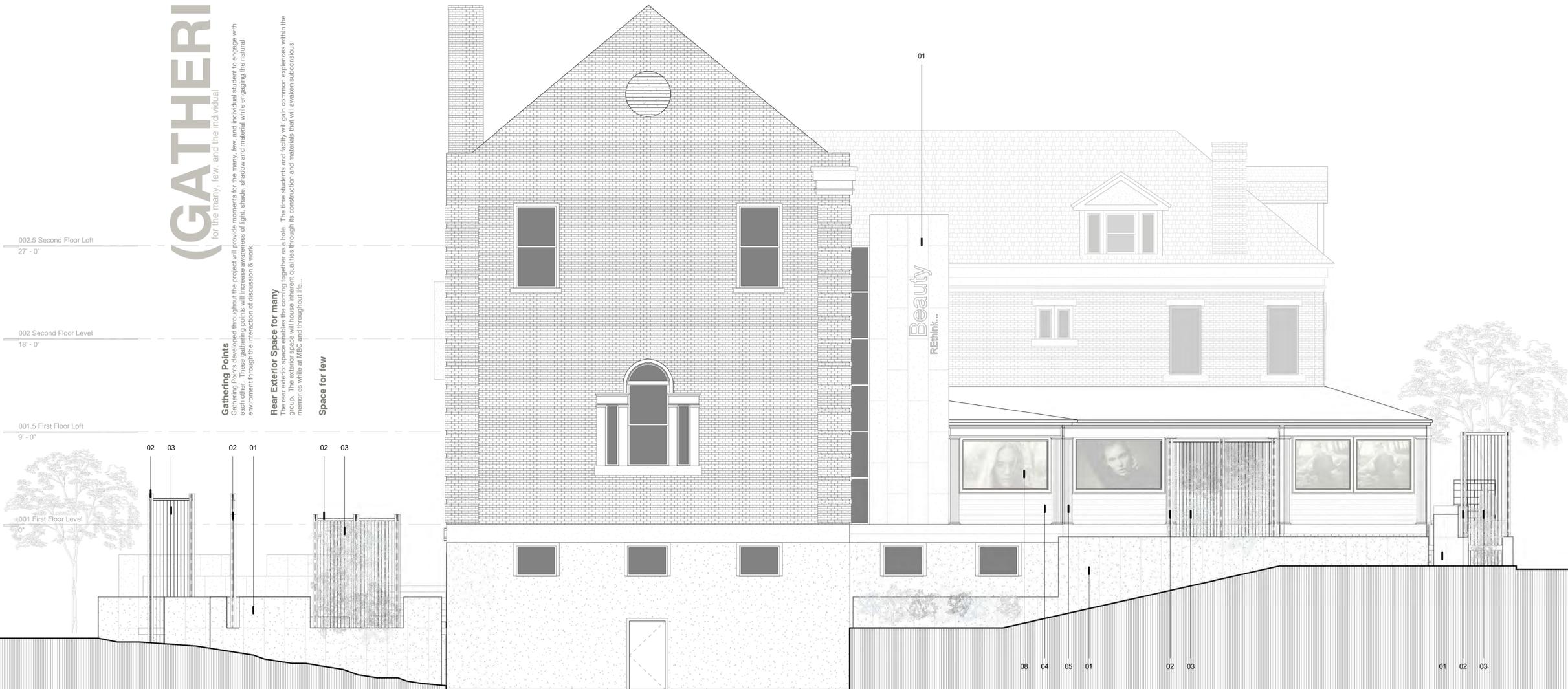


# (GATHERINGpoints)

for the many, few, and the individual  
 Gathering Points developed throughout the project will provide moments for the many, few, and individual student to engage with each other. These gathering points will increase awareness of light, shade, shadow and material while engaging the natural environment through the interaction of discussion & work.

**Rear Exterior Space for many**  
 The rear exterior space enables the coming together as a hole. The time students and faculty will gain common experiences within the space. This space will be defined by its construction and materials that will awaken subconscious memories while at MBC and throughout life.

**Space for few**



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04	WOOD SIDING	WOODEN SIDING TO MATCH EXISTING SIDING IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
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09	METAL	1/2" METAL PLATE, S.S. STEEL, CUT-WATER JET, SANDED 320 GRIT, CONNECTION T.B.D.	WILSON WORKS: CONTACT RUSTY - 304.296.5447

NOTE: ...

**BuildingLAB**  
 1650 speedway  
 fairmont, wv 26554  
 ph: 304.288.3941  
 1301 Quail Roost  
 pittsburgh, pa 15237  
 ph: 412.849.8845  
 www.buildinglabinc.com



**NOT FOR CONSTRUCTION**  
 Revisions

- Schematic Design
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Client Signature for Phase Completion

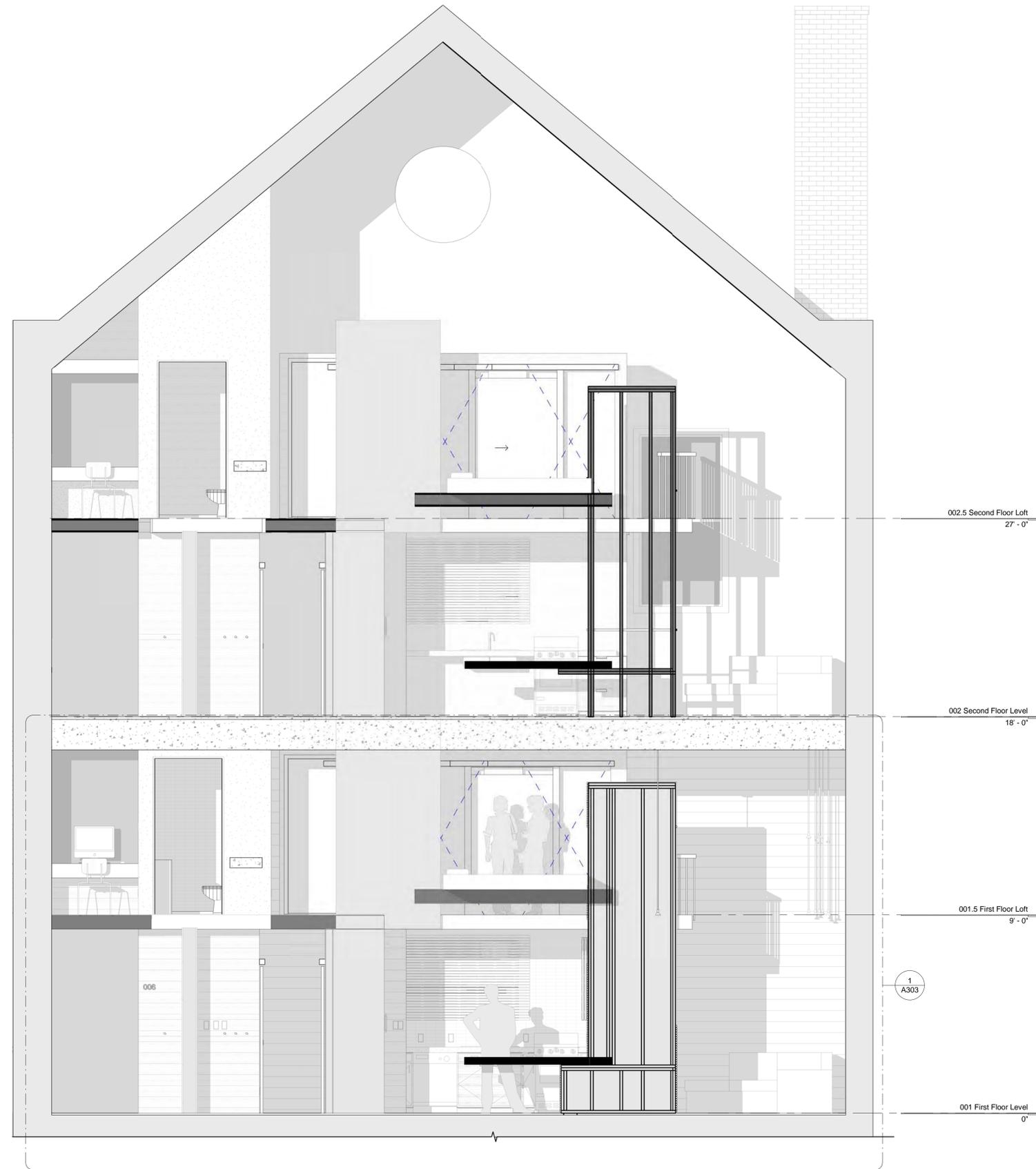
**MBC & Livingzone 276 Walnut Lofts**  
 Project Address  
 MBC & Livingzone 276 Walnut Lofts  
 276 Walnut Street  
 client address

8/1/2014 10:03:51 AM  
 Project Number: 09.011  
 PROJECTdata

As indicated  
 Left Elevation

1 Left Elevation  
 3/16" = 1'-0"

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Revisions

Schematic Design  
Design Development  
Progress  
Bidding  
■ Building Permit  
Construction Documents

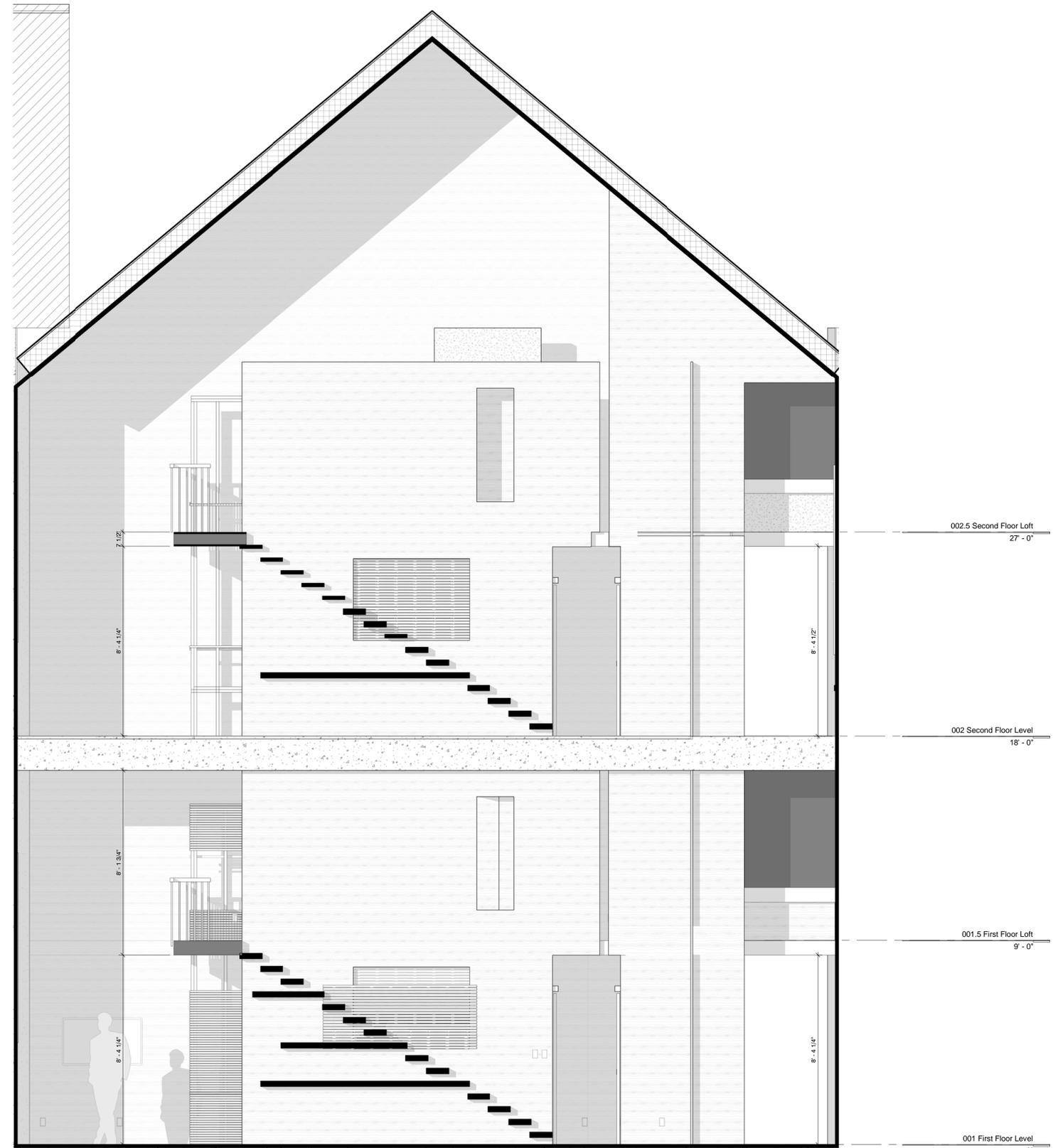
Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**  
Project Address:  
MBC & Livingzone 276 Walnut Lofts  
Martinsburg, West Virginia  
client address

8/1/2014 10:04:08 AM  
Project Number: 09.011  
PROJECTdata

3/8" = 1'-0"  
Building Section

1 Section 13  
3/8" = 1'-0"



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Revisions

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Client Signature for Phase Completion

MBC & Livingzone 276 Walnut Lofts

Project Address:  
MBC & Livingzone 276 Walnut Lofts  
Martinsburg, West Virginia  
client address

8/1/2014 10:04:23 AM  
Project Number: 09.011  
PROJECTdata

3/8" = 1'-0"

Building Section

August 12, 2014

Dear Design Review Committee and Planning Commission Members,

The proposed residential project at the Morgantown Beauty College represents a tremendous economic opportunity to Morgantown generally, and the downtown, specifically.

By all indications, the developers' plans are to revitalize an underutilized property in a thoughtful and cooperative way adding a much desired facet to our downtown economic mix.

The Board of Directors of Main Street Morgantown recognizes that this opportunity falls well within the spirit and intent of our Mission Statement:

*"Main Street Morgantown, a tax exempt not-for-profit organization, is dedicated to the betterment of the Downtown and Wharf Districts through thoughtful revitalization. To this end, our focus is:*

- *a safe and welcoming physical design in the district,*
- *active recruitment, retention and promotion of our district.*
- *preservation of local history through architecture and design,*
- *partnering with local stakeholders, both public and private to achieve a vibrant and successful business community."*

Our final recommendation, presented at the end of this narrative, will be based on specific, quoted excerpts from the **Visions** and **Desired Outcomes** of three distinct sources:

- 1. The City of Morgantown Downtown Strategic Plan, adopted July 2010**
- 2. The City of Morgantown Comprehensive Plan, adopted June 2013**
- 3. The Downtown Housing Needs Assessment, Preliminary Draft, 11/2013**

(It is important to note that both the Strategic Plan as well as the Comprehensive Plan involved input from a wide demographic including business, government, board and commission members and residents.

The Housing Needs Assessment data was garnered from a random survey performed by the consultant.)

- 1. The City of Morgantown Downtown Strategic Plan, adopted July 2010**

### **1.5 Goals**

The goal of this Strategic Plan update is to focus attention on:

- "Developing new clusters of twenty-first century businesses and small industries downtown;"
- "Improving the supply, quality, and choice of downtown housing;"

- "Enhancing the downtown pedestrian experience by improving public spaces, transportation, and safety;"
- "Conserving natural resources by boosting the occupancy of downtown buildings and land."

### **1.6 How to Use This Strategic Plan**

"...this Strategic Plan will ensure that residents, property owners, business owners, and developers have a clear understanding of the community's vision, expected outcomes, strategies, and implementation processes."

### **1.8 Strategic Plan Recommendations**

- "Realign downtown Morgantown's public identity to reflect its expanded market position."
- "Make the downtown a stronger residential community by adding more housing, attracting new residents, and offering a full range of amenities to meet downtown residents' needs."
- "Boost the downtown's occupancy rate"

### **4.8 Housing**

"The opportunities to create a variety of housing types and price levels in the downtown are vast"

"In addition, there a number of empty lots that could be developed with new mixed-use buildings."

### **6.0 Downtown Strategies**

"The Strategic Plan update for downtown Morgantown incorporates the themes pulled from public involvement and work sessions into nine strategic components with accompanying strategies in order to work towards achieving the vision for downtown Morgantown."

- "Transportation: Expand diverse and convenient choices for downtown access and mobility.
- "Marketing and Promotion: Nurture a sustainable and resilient downtown economy through active management of the downtown and its businesses."
- "Housing and Redevelopment: Redevelop vacant and underperforming properties throughout the downtown and promote a variety of mixed-use housing in order to diversify the demographics of downtown residents."

### **Vision / Development Theme**

"A neighborhood with mixed-use live-work opportunities interspersed throughout, that

is directly adjacent to downtown and the Farmers' Market.”

## **6.6 Housing and Redevelopment**

### **Goal:**

“Redevelop vacant and underperforming properties throughout the downtown and promote a variety of mixed-use housing in order to increase density and diversify the demographics of downtown residents.”

### **Objectives:**

“Increase the supply, diversity, range, and affordability of housing opportunities within the downtown.”

### **Actions:**

6.6.1 “Grow the downtown resident population by creating more, and a broader range of, housing opportunities. The following downtown and community-wide benefits are expected from the increase in housing:”

- “Boost the captive market for community-serving retail goods and services downtown that will support new downtown residents and the residents of nearby neighborhoods.”
- “Increase occupancy and mixed-uses of underutilized downtown buildings.”
- “24/7/365 living, activity, commerce, and energy will create a safer downtown.”

6.6.3 “Stimulate infill development of mixed-use buildings on vacant lots throughout the downtown.”

## **2. The City of Morgantown Comprehensive Plan, adopted June 2013**

### **Principles of Land Management**

“Eleven Principles describe the intent about “how” and “where” growth and development in Morgantown should occur.”

“These principles should be used to help guide the city on how to use land resources in a more efficient and effective manner to foster a high quality community with a distinct sense of place.”

Four of these are directly applicable to the development in question and are presented in the order in which they appear in the Comprehensive Plan:

- “1. Infill development and redevelopment of underutilized and/or deteriorating sites takes priority.”
- “2. Expansion of the urban area will occur in a contiguous pattern that favors areas already served by existing infrastructure.”

- “3. Downtown”...”will be the primary focus for revitalization efforts.”
- “6. Development that integrates mixed-uses and connects with existing urban fabric is encouraged.”

### **3. The Downtown Housing Needs Assessment, November 2013**

#### **Purpose:**

- “Present and evaluate past, current and projected detailed demographic characteristics of Morgantown.”
- “Determine current characteristics of all major housing components within Morgantown.”
- “Calculate a housing gap by tenure and income segment within Morgantown.”

#### **Recommendation:**

It is the recommendation of the Board of Directors of Main Street Morgantown that this project, at this location and with this developer not only be allowed, but be **encouraged** to move forward with this project as presented to The City as soon as possible.

Respectfully submitted,

The Board of Directors,  
Main Street Morgantown  
by Terri R. Cutright, CMSM  
Executive Director