



MORGANTOWN PLANNING COMMISSION

December 10, 2015
6:30 PM
City Council Chambers

President:

Peter DeMasters, 6th Ward

Vice-President:

Carol Pyles, 7th Ward

Planning Commissioners:

Sam Loretta, 1st Ward

Tim Stranko, 2nd Ward

William Blosser, 3rd Ward

Bill Petros, 4th Ward

Mike Shuman, 5th Ward

Ken Martis, Admin.

Bill Kawecky, City Councilor

STAFF REPORT

CASE NO: S15-11-III / Feoh Realty, LLC / Donahue Drive

REQUEST and LOCATION:

Request by Ryan Hess, on behalf of Feoh Realty, LLC, for a Type III Development of Significant Impact Site Plan approval for a site along Maple Drive, Research Park Road, and State Route 705.

TAX MAP NUMBER(s) and ZONING DESCRIPTION:

Morgan District, Tax Map 4, Parcels 18.5, 19 & 20; B-5, Shopping Center District

SURROUNDING ZONING:

B-5, Shopping Center District

BACKGROUND:

The petitioner seeks to develop a "Medium-Scale Shopping Center" with access from a proposed street connecting Maple Drive and State Route 705. MECCA 911 has established a name for the proposed driveway of "Donahue Drive." Addendum A of this report illustrates the location of the subject site. Attached hereto is a detailed Planning and Zoning Code Conformity Report dated 24 NOV 2015.

Proposed Development Program

The following generally summarizes the proposed development program illustrated in the petitioner's application and exhibits.

- The development site is approximately 2.66 acres and is currently vacant. A portion of the site is within West Virginia Division of Highway's (WVDOH) right-of-way and a portion of the site is owned by West Virginia University. The undersigned understands the developer is in the process of securing ownership of the right-of-way portion and securing a long-term lease for the WVU portion.
- The development site was a part of an annexation by petition approved by City Council on 20 OCT 2015 (Ordinance 15-66) and entered by the County Commission on 18 NOV 2015. On 01 DEC 2015, City Council established the zoning classification of B-5, Shopping Center District for the subject site by Ordinance 15-72.
- The proposed development program includes one (1) principal building with 13,500 gross square feet (GFA). The "Medium Scale Shopping Center" will include six (6) commercial tenant spaces.
- A total of 54 surface parking spaces are proposed. Two (2) tenant spaces include accessory drive-through facilities.

Development Services

Christopher Fletcher, AICP
Director

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431



MORGANTOWN PLANNING COMMISSION

December 10, 2015
6:30 PM
City Council Chambers

President:

Peter DeMasters, 6th Ward

Vice-President:

Carol Pyles, 7th Ward

Planning Commissioners:

Sam Loretta, 1st Ward

Tim Stranko, 2nd Ward

William Blosser, 3rd Ward

Bill Petros, 4th Ward

Mike Shuman, 5th Ward

Ken Martis, Admin.

Bill Kawecky, City Councilor

- Access to the development site is proposed by way of a new road connecting Maple Drive and Route 705, which will require WVDOH approval.

Required Planning and Zoning Code Approvals

The following approvals are required for the development program as proposed.

- Required Planning Commission approvals:

- Type III Site Plan Development of Significant Impact (DSI).

Site Plan approval by Planning Commission is required for Developments of Significant Impact (DSI) that are either 15,000 square feet or more of gross floor area OR a site of 2 acres or more of “net acreage” [non B-4 sites]. According to the development’s design professionals, the development site is ± 2.66 net acres with a “net acreage” of more than 2 acres.

- Minor Subdivision.

If a plat assembling the development site into one (1) parcel was not recorded prior to annexation, than minor subdivision approval by the Planning Commission be required.

- Required BZA approvals:

- Variances:

- V15-81.....Variance relief from Article 1353.05(B) to construct a principal building less than the minimum building height standard of 25 feet.
- V15-80.....Variance relief from Article 1353.07(E) from developing a sidewalk along the Maple Drive frontage street.
- V15-79.....Variance relief from Article 1365.05 from providing the minimum number of stacking spaces for vehicles before each bank/ATM window.
- V15-78.....Variance relief from Article 1365.09(B)(2) from the minimum distance of a driveway entrance to the intersection of two streets.
- V15-77.....Variance relief from Article 1365.10(N) from developing a loading space.

The variance petitions noted above are scheduled for consideration by the BZA on 16 DEC 2015.

Development Services

Christopher Fletcher, AICP
Director

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431



MORGANTOWN PLANNING COMMISSION

December 10, 2015
6:30 PM
City Council Chambers

President:

Peter DeMasters, 6th Ward

Vice-President:

Carol Pyles, 7th Ward

Planning Commissioners:

Sam Loretta, 1st Ward

Tim Stranko, 2nd Ward

William Blosser, 3rd Ward

Bill Petros, 4th Ward

Mike Shuman, 5th Ward

Ken Martis, Admin.

Bill Kawecky, City Councilor

Comprehensive Plan Concurrence

As recommended in Chapter 9 "Implementation" of the 2013 Comprehensive Plan Update, Addendum B of this report identifies how the proposed development program relates to the land management intent, location, and pattern and character principles of the current Comprehensive Plan. Staff encourages the Planning Commission to review the Comprehensive Plan for guidance as Addendum B is not intended to represent a complete comparative assessment.

It should be noted that "shall" statements within the Comprehensive Plan must be understood as desired objectives and strategies that do not have the force or effect of law unless incorporated into the City's Planning and Zoning Code.

It is the opinion of the Planning Division, as explicated in Addendum B, that the proposed development program appears to be in general concurrence with the Plan's principles for land management given the suburban development pattern and character of the surrounding built environment located outside the City's corporate boundary.

STAFF RECOMMENDATION:

Staff recommends the following conditions be included in a Planning Commission approval of Case No. S15-11-III as requested by the petitioner:

1. That, prior to building permit issuance, minor subdivision petition approval must be granted by the Planning Commission if the final plat of the development site was not recorded prior to the effective date of the related annexation Ordinance (ORD15-66).
2. That requisite variance approvals must be granted by the Board of Zoning Appeals and related conditions observed.
3. That, to the satisfaction of the City Engineer, a Pedestrian Circulation Plan must be submitted with the Building Permit Application and include minor site design modifications illustrated in, or similar to, Addendum A of Staff's Planning and Zoning Code Conformity Report dated 25 NOV 2015 thereby furthering public safety and welfare.
4. That, to the satisfaction of the Planning Division, the five (5) angled parking spaces at the west side of the development site be restricted to "Employee Parking Only" and signed accordingly (vertical signage and/or pavement markings) to reduce turnover frequency of said parking spaces thereby furthering public safety and welfare.
5. That all requisite access agreements and/or permits be issued by the West Virginia Division of Highways (WVDOH) prior to building permit issuance.
6. That the development must meet all applicable federal Americans with Disabilities Act (ADA) standards to the satisfaction of the City's Chief Building Code Official.

Development Services

Christopher Fletcher, AICP
Director

Planning Division

389 Spruce Street
Morgantown, WV 26505
304.284.7431

STAFF REPORT ADDENDUM A
S15-11-III / FEOH Realty, LLC / Donahue Drive



STAFF REPORT ADDENDUM B

S15-11-III / Feoh Realty, LLC / Donahue Drive

Concurrence with the 2013 Comprehensive Plan Update

The following narrative identifies where, in the opinion of the Planning Division, the subject development of significant impact is in concurrence and/or is inconsistent with the 2013 Comprehensive Plan Update.

INTENT	Development proposals will reflect the spirit and values expressed in the Plan's principals.
---------------	----------------------------------------------------------------------------------------------

Principles for Land Management

Principal 1	Infill development and redevelopment of underutilized and/or deteriorating sites takes priority over development in green field locations at the city's edge.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>Although the subject site is currently undeveloped in terms of land use, it should not be considered a "green field" as it contains significant above and below ground utilities and a stormwater management facility serving the surrounding built environment. The proposed development should be considered infill as it is surrounded by suburban type development located outside the City's corporate boundaries but within the "Conceptual Urban Growth Boundary" illustrated in Appendix A of the 2013 Comprehensive Plan. Additionally, the site is situated at the entrance of West Virginia University's planned research park, which is identified in the Plan as an area of opportunity for continued economic development.</i></p>		
Principal 2	Expansion of the urban area will occur in a contiguous pattern that favors areas already served by existing infrastructure.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>The subject site was recently annexed into the City. The proposed development should be considered contiguous infill development surrounded by suburban type development located outside the City's corporate boundaries.</i></p>		
Principal 3	Downtown, adjacent neighborhoods and the riverfront will be the primary focus for revitalizations efforts.	<input type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Other
<p><i>The subject site is not located within the downtown, adjacent neighborhoods, or near the riverfront. However, it is located along a corridor with one of the highest average daily traffic (ADT) counts in the urbanized area containing regional employment centers and shopping centers and multi-family residential developments.</i></p>		
Principal 4	Existing neighborhoods throughout the city will be maintained and/or enhanced.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<p><i>The site is not located within or adjacent to a "Neighborhood Conservation" area.</i></p>		

Principal 5	Quality design is emphasized for all uses to create an attractive, distinctive public and private realm and promote positive perceptions of the region.	<input checked="" type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<i>The majority of B-5 District mandatory and desired site design and architectural elements appear to be included in the proposed development program.</i>		
Principal 6	Development that integrates mixed-uses (residential, commercial, institutional, civic, etc.) and connects with the existing urban fabric is encouraged.	<input type="checkbox"/> Concurrence <input checked="" type="checkbox"/> Inconsistent <input type="checkbox"/> Other
<i>The proposed development program does not include a residential component. However, the proposed development resembles the suburban pattern and character of the immediate built environment where uses are disconnected from adjacent areas of largely homogenous pods of development [see Neighborhood 4 description].</i>		
Principal 7	Places will be better connected to improve the function of the street network and create more opportunities to walk, bike and access public transportation throughout the region.	<input type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Other
<i>The built environment within the immediate area of the subject site, located outside the City's corporate boundaries, has evolved over the past decade into an auto-oriented, heavily auto-dependent suburbanized corridor. State Route 705 is a limited access state "highway" bisecting adjoining commercial uses/districts and neighborhoods and hindering pedestrian connections. Mountain Line Transit does not appear to serve the subject site or the immediate area as an alternate mode of transport.</i>		
Principal 8	A broad range of housing types, price levels and occupancy types will provide desirable living options for a diverse population.	<input type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Other
<i>The proposed development program does not include a residential component. Zoning ordinance dictates and/or guidelines concerning desired affordability and workforce housing opportunities have not been developed or enacted.</i>		
Principal 9	Residential development will support the formation of complete neighborhoods with diverse housing, pedestrian-scaled complete streets, integrated public spaces, connection to adjacent neighborhoods, and access to transportation alternative and basic retail needs.	<input type="checkbox"/> Concurrence <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Other
<i>The proposed development program does not include a residential component. Although there appears to be a diverse mix of single-family, townhouse, apartments, and condominiums within the immediate area, open public spaces, pedestrian connections, and transportation alternatives have not been integrated in the developments located outside the City's corporate boundary. State Route 705 is a limited access state "highway" bisecting adjoining commercial uses/districts and neighborhoods and hindering desired "complete neighborhood" and "pedestrian-scaled" development patterns.</i>		

Principal 10 Parks, open space, and recreational areas are incorporated as part of future development. Concurrence
 Inconsistent
 Other

Parkland, functional open space, and/or recreational facilities are not included in the proposed development program.

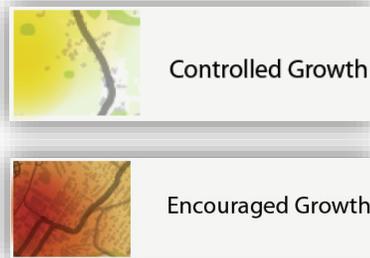
Principal 11 Environmentally sensitive and sustainable practices will be encouraged in future developments. Concurrence
 Inconsistent
 Other

Stormwater management best practices will be required for the development. The developer's goals and objectives concerning sustainable construction techniques and industry accepted best practices have not been fully developed.

LOCATION

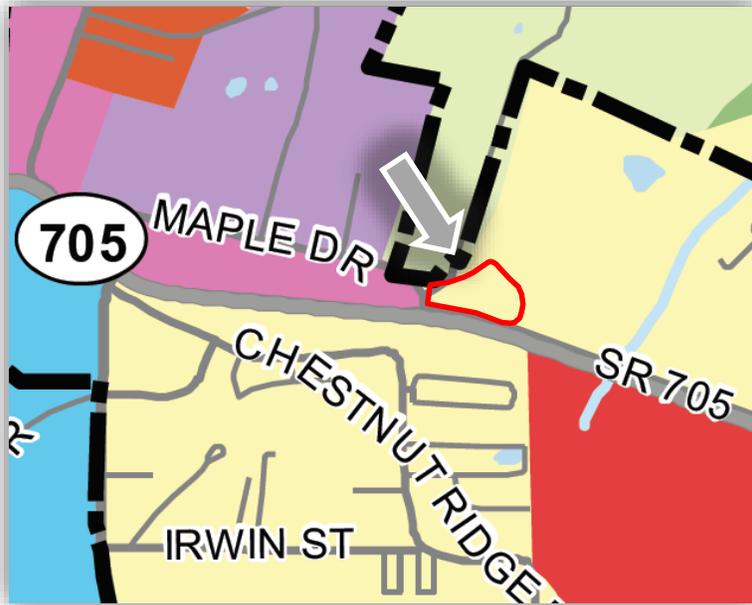
Development proposals will be consistent with the Land Management Map. If the proposal applies to an area intended for growth, infill, revitalization, or redevelopment, then it should be compatible with that intent and with any specific expectations within Areas of Opportunity. If the proposal applies to an area of conservation or preservation, it should be compatible with and work to enhance the existing character of the immediate surroundings.

The following graphic is clipped from the **Conceptual Growth Framework Map** included on Page 19 of the 2013 Comprehensive Plan Update. The subject development site is located within the “**Controlled Growth**” area and adjacent to the “**Encouraged Growth**” area that includes “**Area of Opportunity No. 11 – University Research Park.**”



Controlled Growth – Developing areas, or currently undeveloped land where more growth is likely due to proximity to existing thoroughfares, infrastructure and adjacency to recent development. Growth in these areas generally expands the footprint of the urban area and should be controlled to minimize negative impacts.

The following graphic is clipped from **Map 3 – Pattern and Character** included on Page 27 of the 2013 Comprehensive Plan Update. The subject development site is located within the “**Neighborhood 4**” pattern and character area and adjoins the “Commercial Corridor”, “Urban Corridor”, and “Commercial Node” pattern and character areas.

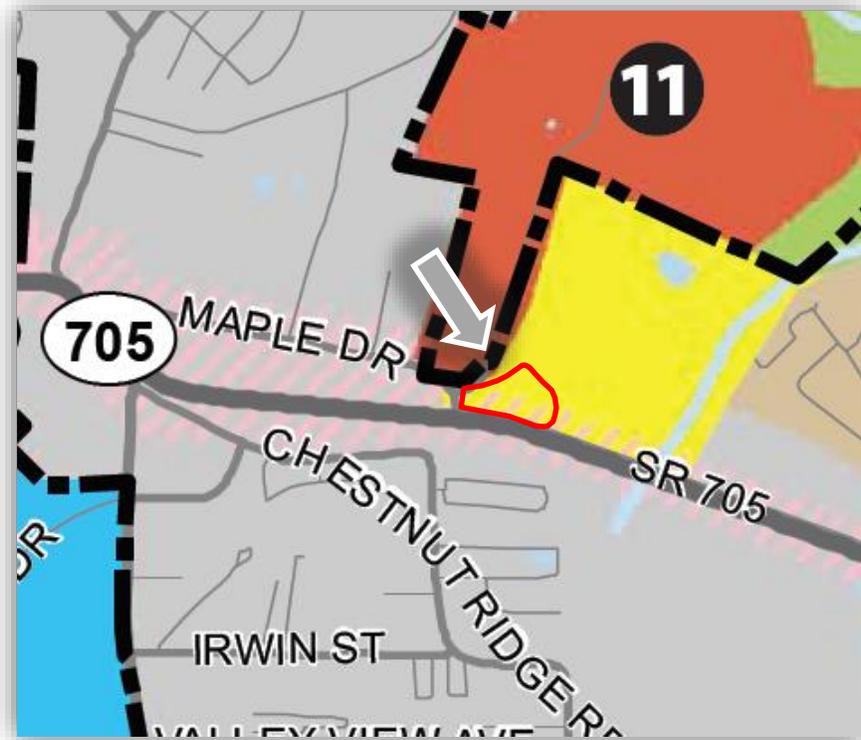


- Neighborhood 4
- Commercial Node
- Commercial Corridor
- Urban Corridor

Neighborhood 4. Neighborhood 4 is the most suburban with single-type residential developments that are disconnected from the fabric of adjacent areas. Residential density varies but each development typically has one type of housing product such as large-scale apartment complexes, semi-detached condos, mobile home parks and single-family developments where the homes are similar in size and amenities. These homogenous pods of development are primarily located at the city’s edge and in unincorporated areas such as the County’s West Run Planning District.



The following graphic is clipped from **Map 4 – Land Management** included on Page 39 of the the 2013 Comprehensive Plan Update. The subject development site is located within the “**Controlled Growth**” concept area and adjacent to the “Encouraged Growth” concept area that includes “Area of Opportunity No. 11 – University Research Park.”



 **Encouraged growth:** Areas where new growth is encouraged primarily for economic development. These areas may be special districts or mixed-use areas.

 **Controlled growth / Traditional Neighborhood Area*:** Areas where growth is not strongly encouraged but where mixed-use development could be supported because of proximity to planned or existing roadways and utilities. Appropriate development may include a traditional neighborhood pattern (walkable with a distinct center and edge), an open space development pattern, or special use districts. Care should be taken to ensure that new development is compatible with existing development patterns in the area.

 **Corridor Enhancement**:** Improving development along corridors with a mix of uses, increased intensity at major nodes or intersections and roadway improvements to improve traffic flow, pedestrian and biking experience.

PATTERN AND CHARACTER

Development proposals in growth areas will be consistent with preferred development types. Development in areas where growth is not intended should be compatible with the relevant Character Areas description and expectations for how those areas should evolve in the future.

The following graphics are clipped from Pages 41 through 43 of the 2013 Comprehensive Plan Update and identify the development types desired within the “Controlled Growth” concept area.

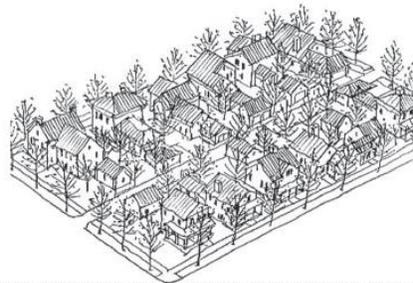
CONCEPT AREA	Appropriate Development Types											
	SF	TF	MF	C	NX	UC	CC	O	I	CD	OS	
 Controlled Growth	•	•	•	•	•				•	•	•	•

DEVELOPMENT TYPE DESCRIPTIONS

PATTERN AND CHARACTER EXAMPLES

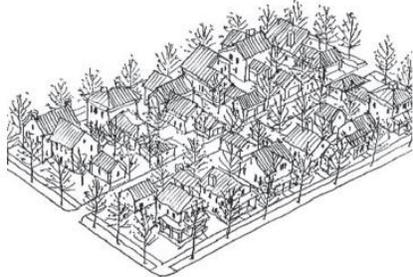
SF Single Family Residential

Detached 1-2.5 story residential structures each intended for one family. Densities range from six to twelve units per acre.



TF Two Family Residential

Detached structures that each contain two separate residential dwellings and townhouse dwelling types. May be built in a similar pattern as single-family structures and integrated in neighborhoods with other single-family structures and/or at the edge of single-family neighborhoods. Densities range from six to twenty units per acre.



MF Multi-family Residential

Includes various forms such as apartment buildings where three or more separate residential dwelling units are contained with a structure and townhouse dwelling types. They vary considerably in form and density depending on the context – from four-story or larger buildings set close to the street in and at the edge of the downtown core and along major corridors, to smaller two- to four-story buildings with greater street setbacks in areas between the downtown core and single-family neighborhoods.



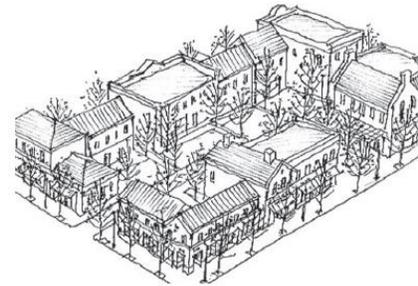
C Civic and Institutional

These sites include both public uses (government buildings, libraries, community recreation centers, police and fire stations, and schools) and semi-public or private uses (universities, churches, hospital campuses). Public uses should be strategically located and integrated with surrounding development. Civic and Institutional sites may be distinctive from surrounding buildings in their architecture or relationship to the street.



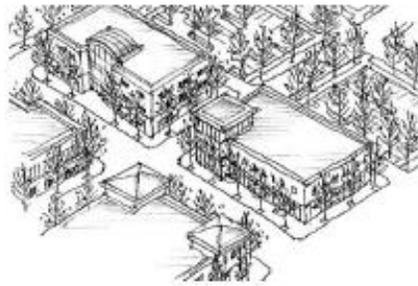
NX Neighborhood Center Mixed-Use

A mix of housing, office, commercial, and civic uses adjacent to one another or contained within the same structure (such as offices or apartments above ground-floor retail). Such uses should be compatible with and primarily serve nearby neighborhoods (within 1/2 mile). Parking should be located behind or to the side of buildings and may be shared between multiple uses.



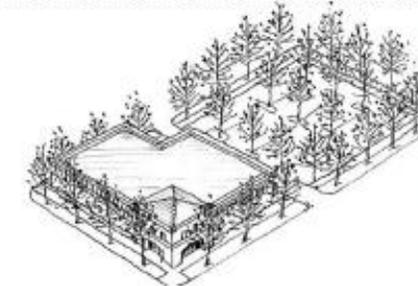
O Office / Research

Larger-scale 2-6 story buildings generally housing professional offices or research/development activities with single or multiple tenants. May involve multiple large-scale buildings in a campus setting, but buildings should be in a walkable configuration with shared parking typically behind or to the side. Supportive retail establishments may occupy the lower levels of a multistory building. Supportive retail uses include coffee shops, delicatessens, barbers, and bookstores among others.



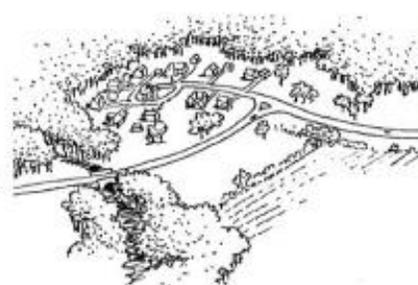
I Limited Industrial

Typically 1-2 story large footprint buildings intended for light industrial development, clean manufacturing or warehousing activities.



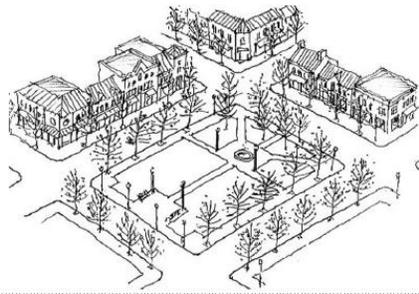
CD Cluster Development

Primarily residential development on large sites (typically at least 40 acres) where relatively small lots are arranged in a clustered pattern, rather than larger lots spread over the entire site. This type of development leaves a significant area of a site undeveloped (often 50%) to preserve significant natural areas such as steep slopes, stream corridors and areas of mature trees.



OS **Greenspace**

Includes formal parks, recreation areas, trails, and natural open space.



**OBJECTIVES
AND
STRATEGIES**

Land Management

Objective 2. Promote strategic infill and redevelopment of underutilized or functionally obsolete areas.

LM 2.1 Identify and prioritize sites for infill and redevelopment.

LM 2.3 Develop incentives to encourage the consolidation of parcels for redevelopment.

**OBJECTIVES
AND
STRATEGIES**

Economic Development

Objective 5. Provide desirable locations for business expansion.

ED 5.7 Pursue zoning map amendments where appropriate to address potential zoning conflicts and promote non-residential infill and redevelopment in appropriate areas (See Areas for Future Study in Appendix A).

Objective 6. Strive for a balanced approach to economic development that considers the fiscal impacts of growth.

ED 6.2 Consider the fiscal impact on city and county governments of any proposed major development or annexation.

ED 6.3 Use incentives and zoning to promote development in areas with existing infrastructure capacity, in order to reduce the need for infrastructure extensions, and to concentrate infrastructure improvements reducing short-term and long-term operating costs.



PLANNING AND ZONING CODE CONFORMITY REPORT FOR PLANS DATED 06 NOV 2015

Planning Division

Research Park Shops (Feoh, LLC) – Maple Drive, Research Park Road, Route 705

The following information identifies Planning and Zoning (P&Z) Code provisions related to the above referenced development. Plans reviewed herein were prepared by the Freeland and Kauffman, Inc. and Mills Group, on behalf of Feoh Realty, LLC. Also identified is whether or not the subject development meets P&Z requirements; whether additional information is required; and, whether variance(s) and/or conditional use approval(s) are necessary.

PROPOSED DEVELOPMENT PROGRAM

- The development site is approximately 2.66 acres and is currently vacant. A portion of the site is within West Virginia Division of Highway's (WVDOH) right-of-way and a portion of the site is owned by West Virginia University. The undersigned understands the developer is in the process of securing ownership of the right-of-way portion and securing a long-term lease for the WVU portion.
- The development site was a part of an annexation by petition approved by City Council on 20 OCT 2015 (Ordinance 15-66) and entered by the County Commission on 18 NOV 2015. The Second Reading and Public Hearing of the ordinance establishing B-5 zoning classification for the development site is scheduled before City Council on 01 DEC 2015.
- The development program includes one (1) principal building with 13,500 gross square feet (GFA). The building is considered a "Medium Scale Shopping Center" with six (6) commercial tenant spaces.
- A total of 54 surface parking spaces are proposed. Two (2) tenant spaces include accessory drive-through facilities.
- Access to the development site is proposed by way of a new road connecting Maple Drive and Route 705, which will require WVDOH approval.

SUMMARY OF CONFORMITY OBSERVATIONS

Planning and Zoning Code Reference	
Conformity (Y, N, TBD)	Conformity review observations; required approvals noted in bold highlighted (yellow) font .

1353.02 Permitted and Conditional Uses	
Y	"Medium Scale Shopping Center" uses are permitted by-right in the B-5 District. Additionally, contemplated commercial tenants, including "Restaurant, Fast Food," "Furniture Sales Establishment," "Retail Sales Establishment," "Financial Services Establishment," and "Drive-Through Facility," are permitted by-right in the B-5 District as principal or accessory uses.



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

1353.03 Lot Provisions	
Y	(A) Minimum lot size – 0.5 acre. <i>Plans reviewed herein identify the development site to be ± 2.66 acres</i>
Y	(B) Minimum lot frontage – 60 ft. <i>The site has frontage on Maple Drive (± 510 ft), Research Park Drive (± 530 ft), and Route 705 (± 590 ft).</i>
Y	(C) Minimum lot depth – 100 ft. <i>The lot depth varies from ± 110 ft to 380 ft.</i>
Y	(D) Maximum lot coverage – 60%. <i>13,500 sq. ft. (building) / 115,870 square feet (site) = 11.7%</i>

1353.04 Setbacks and Encroachments			
	Provision	Requirement	Proposed
Y	(A)(1) Minimum Front	20 ft	± 45 ft
Y	(A)(2) Minimum Side	30 ft	± 112 ft (E) and ± 131 ft. (W)
Y	(A)(3) Minimum Rear	30 ft	± 97 ft
N/A	(B) Minimum setback for accessory structures – 5 ft from side & rear <i>No accessory structure is proposed.</i>		
Y	(C) On a corner lot, the front lot line shall be the lot line having the shortest dimension along the street right-of-way line. <i>As the shortest frontage, Maple Avenue is considered the front of the site.</i>		

1353.05 Building Height			
	Provision	Requirement	Proposed
N V15-81	(A) Minimum Height	25 ft	13' – 4"
Y	(A) Maximum Height	75 ft	10 ft
N/A	(B) Maximum Height (accessory structure) – 25 ft <i>No accessory structure is proposed.</i>		

1353.06 Parking and Loading Standards	
	<i>See comments below under Article 1365.</i>



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

1353.07 Performance Standards	
N/A	(A) All principal structures within a development should maintain a consistent architectural style. <i>Only one (1) building is proposed in the development program.</i>
Y	(B) Architectural metal paneling may be used for wall surfaces but shall not exceed 20% of any wall facing a public street. <i>Cladding schedule on Sheet 7 Drawing No. A200 observes this performance standard.</i>
Y	(C)(1) Walls shall be clad in stone, brick, marble, approved metal paneling, and/or cast concrete. <i>Cladding schedule on Sheet 7 Drawing No. A200 observes this performance standard.</i>
N/A	(C)(2) Roofs should be clad in slate, sheet metal, corrugated metal, and/or diamond tab asphalt shingles. <i>A flat roof design is proposed in the plans reviewed herein.</i>
Y	(D)(1) Windows should be set to the inside of the building face wall. <i>The term "should" is a desired design element and not mandatory. As such, variance relief cannot be required.</i>
Y	(D)(2) All primary entrance exterior doors should have rectangular recessed panels or glass. <i>The term "should" is a desired design element and not mandatory. As such, variance relief cannot be required.</i>
Y	(D)(3) All rooftop equipment that is enclosed should be enclosed in building material that matches the structure or is visually compatible with the structure. <i>A parapet 6" – 8" in height should serve to screen rooftop equipment.</i>
N V15-80	(E) Sidewalks shall be constructed along the frontage (where feasible) of a lot upon which a use is to be constructed. New sidewalks shall be at least six (6) feet wide, or the same width as an existing but incomplete sidewalk along the same side of the street. <i>A sidewalk along Maple Avenue is not proposed, which requires variance relief.</i>

1353.08 Landscaping	
	See comments below under Article 1367.



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

1365 Parking, Loading and Internal Roadways		
1365.04 – Determining the number of spaces required		
N/A	(B)	Shared Parking Facilities.
N/A	(C)	Shared Parking Facilities in the B-4 District.
N/A	(D)	Shared Parking Facilities – Performance.
Y	(E)	Required off-street loading and unloading spaces shall not be construed as being part of the required off-street parking spaces.
Y	(F)	No part of any alley or street or other public right-of-way shall be used to meet the minimum parking requirements of this code, unless otherwise provided for herein.
Y	(G)	Explanation of how gross floor area is determined when calculating off-street parking requirements.
N/A	(H)	Number of employees indicates the number of employees on the largest shift, unless otherwise indicated. <i>The minimum parking requirement is calculated for a “Shopping Center” use, which does not account for the number of employees present.</i>
Y	(I)	In all non-residential districts the maximum number of spaces provided shall not exceed 115 percent of the minimum parking requirement, except for research and development centers, where there shall be no maximum. <i>As noted below, the minimum number of parking spaces for the “Shopping Center” use is 47 parking spaces, which results in a maximum parking standard of 54 spaces. Plans reviewed herein illustrate 54 parking spaces proposed.</i>
Y	(J)	Minimum off-street parking requirement. <i>(13,500 sq. ft. / 1,000 sq. ft.) x 3.5 = 47 parking spaces (minimum). The proposed number of parking spaces is 54.</i>
N/A	(K)	Parking provisions for company vehicles. <i>Plans reviewed herein do not appear to include company-related vehicles for which parking space considerations would be required.</i>
N/A	(L)	Minimum parking requirement determinations for uses not specified.
N/A	(M)	Conflict provisions.
TBD Note – 1	(N)	Any land use which requires a minimum of 50 parking spaces shall be required to provide a pedestrian circulation plan for the proposed site. <i>A “Pedestrian Circulation Plan” was not submitted with plans reviewed herein. See Note – 1 at end of this report.</i>
N/A	(O)	B-1 District parking reduction provisions.
N/A	(P)	B-4 parking reduction provisions.



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

1365.05 Drive-Through Stacking.	
N V15-79	<i>Table 1365.05.01 requires six (6) stacking spaces before each bank or ATM bay. Only three (3) stacking spaces are provided before each of the three (3) proposed bank/ATM bays, which requires variance relief.</i>
1365.06 Parking Spaces Accessible to the Disabled.	
Y	<i>Three (3) accessible spaces are provided for the parking lot containing 51 to 75 parking stalls and one (1) of which is designed as van or universal parking space as required.</i>
1365.07 Off-Site Parking Facilities.	
N/A	<i>Off-site parking facilities are not proposed.</i>
1365.08 Parking and Storage of Certain Vehicles.	
TBD	<i>These provisions, if applicable, affect post construction/occupancy activities.</i>
1365.09 Parking Development Standards.	
Y	(A)(1) Dimensions – standard parking spaces. <i>All standard parking spaces appear to meet or exceed minimum dimension requirements.</i>
N/A	(A)(2) Dimensions – compact parking spaces. <i>Compact parking spaces are not included in plans reviewed herein.</i>
Y Note – 2	(A)(3) Dimensions – drive aisle and safe and efficient means of vehicular access. <i>All proposed parking spaces open directly on an acceptable drive aisle under the P&Z Code. Additional consultation with the Morgantown Fire Marshal will be required during building permit application plans review to ensure minimum drive aisle widths are provided under the Fire Code. The proposed depth (perpendicular to aisle) of the five (5) angled parking spaces is 18 feet, which is less than the minimum depth of 19 feet for 60° angled parking. Compliance with the minimum depth will be required at building permit review and cannot be achieved by reducing the widths of the by-pass and/or drive-through aisles. See Note – 2 at the end of this report.</i>
Y	(A)(4) Dimensions – parking spaces and drive aisles within property lines. <i>Parking spaces, drive aisles, and access layout appear to meet requirements of this paragraph.</i>
Y	(B)(1) Layout and Design – Means of vehicular/loading access to a street. <i>Access and internal maneuvering appear to conform to standards of this paragraph.</i>



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

N V15-78	<p>(B)(2) Layout and Design – Driveway entrance location and width. <i>The City Engineer has accepted the width of the driveway at the roadway connecting State Route 705 and Maple Drive as well as the width of the driveway at the property boundary of the development site. Access agreements/permits with WVDOH will be required because the roadway connecting State Route 705 and Maple Drive and the driveway up to the property boundary of the development site are located within WVDOH right-of-way. However, variance relief will be required because the driveway entrance is located closer than 30 feet from the intersection of State Route 705 and proposed connector roadway and the intersection of Maple Street and the proposed connector roadway.</i></p>
N/A	<p>(B)(3) Layout and Design – Connections between parking lots or reservations of land for future connections. <i>This provision is intended to create cross access driveways between adjoining properties, which is not applicable for this development.</i></p>
Y	<p>(B)(4)(a) Layout and Design – Parking areas lined or designated for efficient use. <i>The proposed parking lot layout appears to meet the intent of this paragraph.</i></p>
Y	<p>(B)(4)(b) Layout and Design – Maximum slope standards. <i>The proposed slope of the parking areas is less than 5%.</i></p>
Y	<p>(B)(4)(c) Layout and Design – Unobstructed access to drive aisle. <i>Tandem parking spaces are not proposed in plans reviewed herein.</i></p>
Y	<p>(B)(4)(d) Layout and Design – Separation between parking spaces and building. <i>An eight-foot wide concrete sidewalk and curb is provided along the storefronts. A nine-foot wide buffer (river rock) and 6-inch vertical concrete curb separates the building from the adjoining drive-through aisle along the functional rear façade.</i></p>
N/A	<p>(B)(5) Layout and Design – Parking structure. <i>Proposed parking spaces are open to the sky and are not enclosed in a building.</i></p>
TBD	<p>(B)(6) Layout and Design – Landscaping and screening. <i>SEE OBSERVATIONS UNDER ARTICLE 1367 BELOW.</i></p>
Y	<p>(B)(7) Layout and Design – Lighting. <i>The Preliminary Lighting Plan provided on Sheet 4 Drawing E902 appears to observe the glare restrictions of this provision. See Article 1371 observations for additional comments.</i></p>
Y	<p>(C)(1) Surfacing. <i>“Standard Duty Pavement” and “Heavy Duty Concrete” are noted on Sheet 3 Drawing 9. Paving design along with stormwater management will be reviewed and approved by the City Engineer and Morgantown Utility Board (MUB) at building permit application.</i></p>
N/A	<p>(C)(2) Gravel surface. <i>Gravel surfacing is not proposed in plans reviewed herein.</i></p>



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

TBD	(C)(3) Drainage. <i>Stormwater management plans will be reviewed and approved by the Morgantown Utility Board (MUB) at building permit application.</i>
N/A	(C)(4) Alternate surfacing materials. <i>Alternate parking area surfacing materials and designs (other than standard asphalt and concrete) do not appear to be proposed in plans reviewed herein.</i>

1365.10 Loading Requirements.

N V15-77	(A) Location of loading area. <i>Table 1365.10.01 provides that at least one (1) loading space be developed, the size of which may not be less than that required for the type of delivery vehicle serving the site. Given the contemplated commercial tenants, a 14 feet by 60 feet loading space should be provided to access the tenant's respective man-doors. A dedicated loading space is not provided, which requires variance relief.</i>
	(B) Size of loading area.
	(C) Paving of loading area.
N/A	(C) Screening of loading berths. <i>Loading berths are not proposed as deliveries will be received through man-doors for each of the tenant spaces.</i>

1367 Landscaping and Screening

TBD	<i>The Preliminary Landscaping Plan on Sheet 4 Drawing 20 appears to provide requisite buffer/screening planting areas for development with parking located between the building and the street [1367.08(C)] and for interior landscaping [1367.08(D)]. Sufficient screening/enclosures appear to be proposed around trash dumpsters [1367.06(E)]. The final Landscape Plan, including specific plant materials, spacing, etc. will be reviewed during building permit application.</i>
-----	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

1369 Signs

TBD	<i>A master sign plan was not included in plans reviewed herein. Signage can be reviewed and approved at a later point.</i>
-----	-----------------------------------------------------------------------------------------------------------------------------

1371 Lighting

TBD	<i>The Preliminary Lighting Plan on Sheet 4 Drawings E900 – E902 appears to provide sufficient lighting for the parking areas without unnecessary glare onto adjoining properties or public rights-of-way. The final Lighting Plan, including light fixtures and lighting intensities, will be reviewed during building permit application.</i>
-----	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



PLANNING AND ZONING CODE CONFORMITY REPORT FOR PLANS DATED 06 NOV 2015

Planning Division

NOTES

Note – 1A “Pedestrian Circulation Plan” was not submitted with plans reviewed herein as required by Article 1365.04(N). Addendum A of this report provides suggested design modifications, which will be submitted to the Planning Commission as a recommended condition of Site Plan approval; provided, the City Engineer is in agreement with pedestrian circulation measures.

Note – 2The five (5) angled parking spaces at the west side of the site remain a concern given the limited line-of-sight for approaching vehicles via the 19-foot wide bypass drive aisle and the potential conflict with back-out movements from said spaces toward vehicles in the drive-through aisle. Said spaces should be restricted to “Employee Parking Only” and signed accordingly to reduce parking space turnover frequency. The developer has agreed to establish this parking restriction, which is identified on Sheet 3 Drawing 9 as Note “Y.” To ensure this parking restriction is implemented, a related condition will be submitted to the Planning Commission as a recommended condition of Site Plan approval.

SUMMARY OF PRELIMINARY REQUIRED APPROVALS

1. Required Planning Commission approvals:

a. Type III Site Plan Development of Significant Impact (DSI).

Site Plan approval by Planning Commission is required for Developments of Significant Impact (DSI) that are either 15,000 square feet or more of gross floor area OR a site of 2 acres or more of “net acreage” [non B-4 sites]. According to the development’s design professionals, the development site is ± 2.66 net acres and the “net acreage” is more than 2 acres.

b. Minor Subdivision.

If a plat assembling the development site into one (1) parcel was not recorded prior to annexation, than minor subdivision approval by the Planning Commission be required.

2. Required BZA approvals:

a. Variances (Case Numbers):

- i. V15-81 Variance relief from Article 1353.05(B) to construct a principal building less than the minimum building height standard of 25 feet.
- ii. V15-80 Variance relief from Article 1353.07(E) from developing a sidewalk along the Maple Drive frontage street.
- iii. V15-79 Variance relief from Article 1365.05 from providing the minimum number of stacking spaces for vehicles before each bank/ATM window.



**PLANNING AND ZONING CODE CONFORMITY REPORT
FOR PLANS DATED 06 NOV 2015**

Planning Division

- iv. V15-78 Variance relief from Article 1365.09(B)(2) from the minimum distance of a driveway entrance to the intersection of two streets.
- v. V15-77 Variance relief from Article 1365.10(N) from developing a loading space.

Prepared by: *Christopher M. Fletcher*

Digitally signed by Christopher M. Fletcher, AICP
Date: 2015.11.25 10:23:29 -05'00'

Director of Development Services
304-284-7431
cfletcher@morgantownwv.gov



PLANNING AND ZONING CODE CONFORMITY REPORT FOR PLANS DATED 06 NOV 2015

Planning Division

ADDENDUM A

Suggested parking plan modifications and pedestrian circulation considerations.
(image clipped from Sheet 3 Drawing 9)



LEGEND

-  Internal Landscape Island
-  Pavement Marked Crosswalk



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE
CASE NO. <u>S15-11-III</u>
RECEIVED: <u>06 NOV 15</u>

A Development of Significant (DSI) Impact is any proposed development whose characteristics warrant a more in-depth review by the Morgantown Planning Commission in order to mitigate the negative impact these characteristics may have on surrounding land uses in particular and on the surrounding neighborhood in general. Developments of Significant Impact (DSI) are those that have a Citywide or regional impact. Such impact could involve the transportation network, environmental features such as parks or stream corridor, local schools, etc. Such developments could include large-scale residential, commercial, or mixed-use developments, employment centers, regional shopping centers, industrial and/or manufacturing, and extractive industry. Any proposed residential or non-residential development that meets or exceeds any of the following criteria shall be determined to be a Development of Significant Impact (DSI) and will require a complete development plan to be submitted and reviewed by Planning Division staff and the Planning Commission.

Land Use Category	Development of Significant Impact (DSI) Thresholds
Development in the B-4 District	
All Land Use Categories	New construction of a principal structure, regardless of land use category or net acreage of the site.
Residential	A development that is 12 or more dwelling units.
Non-Residential	A development that is either 10,000 square feet or more of gross floor area or a site of one-half (1/2) acre or more of net acreage.
Mixed-Use	A development that exceeds any of the following: 10,000 square feet or more of gross floor area of non-residential use(s); or, 12 or more dwelling units; or, one-half (1/2) acre or more of net acreage.
Industrial	All industrial development, regardless of gross floor area or net acreage of the site.
Development in all other Zoning Districts	
Residential	A development that is 12 or more dwelling units.
→ Non-Residential	A development that is either 15,000 square feet or more of gross floor area or a site of 2 acres or more of net acreage.
Mixed-Use	A development that exceeds any of the following: 15,000 square feet or more of gross floor area of non-residential use(s); or, 12 or more dwelling units; or, 2 acres or more of net acreage.
Industrial	All industrial development, regardless of gross floor area or net acreage of the site.

PAID

NOV 06 2015
 BY: _____



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE	
CASE NO.	<u>515-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

I. APPLICANT			
Applicant Name:	Jason Donahue, FEOH Realty, LLC		Phone: 304-599-4929
Mailing Address:	3280 University Ave., Suite 1		Mobile: 304-376-9025
	Street	Morgantown WV 26505	Email: jason@feohrealty.com
	City	State Zip	
Is the Applicant the Owner of the real estate that composes the development site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If no, provide the following information for the Owner of the real estate that composes the development site.			
Owner Name:	Jason Donahue, FEOH Realty, LLC		Phone: 304-599-4929
Mailing Address:	3280 University Ave., Suite 1		Mobile: 304-376-9025
	Street	Morgantown WV 26505	Email: jason@feohrealty.com
	City	State Zip	
II. AGENT / CONTACT INFORMATION			
Name:	Ryan Hess		Phone: 304-296-1010
Mailing Address:	63 Wharf Street, Suite 300		Mobile: na
	Street	Morgantown WV 26505	Email: rhess@millsgrouponline.com
	City	State Zip	
Send all correspondence to (check one): <input type="checkbox"/> Applicant OR <input checked="" type="checkbox"/> Agent/Contact			
III. DEVELOPMENT SITE			
Street Address (if assigned):	1000-6000 Donahue Drive, Morgantown, WV (note permanent address not established until fo	Zoning:	B-5
Tax Map(s) #: 4	<u>ALONG MAPLE DR., RESEARCH PARK ROAD, AND RT. 705</u> <u>CONF.</u>	Parcel(s) #:	18.5, 19, 20
Development Site Area:	117,175 square feet		2.69 acres
Existing Use of Structure and/or Land:	not currently utilized		
Proposed Use of Structure of Land:	<input type="checkbox"/> Residential Only		<input checked="" type="checkbox"/> Mixed-Use (residential and nonresidential)
	<input type="checkbox"/> Non-Residential Only		<input type="checkbox"/> Industrial
Total Value of Construction (exclusive of property acquisition costs):		\$ 2,750,000	

SITE PLAN REVIEW FEE = \$75 for first \$200,000 in construction costs; \$10 for each additional \$100,000
\$2,750,000 - \$200,000 = \$2,550,000 COST = \$75+\$10(25.5)=\$330



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE	
CASE NO.	<u>515-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

IV. STRUCTURE

RESIDENTIAL USES

Total No. of Structures: 0 Total No. of Dwelling Units: 0 Total No. of Occupants: 0

NON-RESIDENTIAL USES

Total No. of Structures: 1 Total No. of Tenant Spaces: 6
 Total Gross Floor Area (GFA): 13,500 Total No. of Employees: tbd

INDUSTRIAL USES

Total No. of Structures: 0 Total No. of Tenant Spaces: 0
 Total Gross Floor Area (GFA): 0 Total No. of Employees: 0

Proposed Height of Structure(s): 20-25 Feet No. of Stories: 1
 Total No. of On-Site Parking Spaces: 54 Standard: 51 Compact: 0 Accessible: 3

V. SITE PLAN REQUIREMENTS

All applications for Type III Development of Significant Impact Site Plan Review must be accompanied by complete and accurate site plan drawings/exhibits that meet the requirements set forth in the Planning and Zoning Code. **Addendum A** of this application provides a checklist for these requirements. Failure to submit all required site plan drawings/exhibits will result in an incomplete application determination and likely delay in the scheduling of a hearing with the Planning Commission.

VI. ATTEST

I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction and certify that the property owners, if applicable, will conform to all such laws and that I have the authority to bind the owner to this commitment. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions.

Ryan Hess  11-06-2015
 Type/Print Name of Applicant/Agent Signature of Applicant/Agent Date

- Applicants will be advised of the Technical Review Team meeting date/time if not already held.



City of Morgantown, West Virginia
**APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT**

OFFICE USE	
CASE NO.	<u>S15-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

ADDENDUM A

SITE PLAN SUBMISSION REQUIREMENTS AND CHECKLIST

All applications for a Development of Significant Impact (DSI) shall be accompanied by site and development plan drawings submitted under the seal and signature of a registered design professional licensed by the State of West Virginia and as authorized by West Virginia State law.

All sheets shall be 24" x 36" size drawn to scale at a minimum 1"=50' and a maximum 1"=10' with the exception of the maps on Sheet One, unless otherwise approved by the City Engineer.

Three (3) full-scale sets of the site plan drawings shall be submitted for review, along with one (1) exact digital file in the most current version of Adobe Acrobat Portable Document Format (PDF). All drawings and sheets shall observe the following format. Failure to follow the format and/or provide required information will result in an incomplete application determination and likely delay in scheduling a hearing with the Planning Commission.

SHEET ONE – Title Sheet.

- Full legal description with sufficient reference to section corners and boundary map of the subject project, including appropriate benchmark references.
- Name of the project.
- Name and address of the owner, developer, and person who prepared the plans.
- Total acreage within the project and the number of residential dwelling units and/or the gross square footage of non-residential buildings whichever is applicable.
- Existing zoning of the subject land and all adjacent lands.
- Boundary lines of adjacent tracts of land, showing owners of record.
- A key or vicinity map at a scale of one inch equals four hundred feet or less, showing the boundaries of the proposed project and covering the general area within which it is to be located.
- A statement of the proposed uses, stating the type and size of residential and non-residential buildings, and the type of business, commercial or industry, so as to reveal the effect of the project on traffic, fire hazards, or congestion of population.
- Any existing or proposed covenants and restrictions affecting property owners and/or homeowners associations.
- Statement of proposed starting and completion dates for the project, including any proposed phasing and sequencing.


Applicant Initials



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE	
CASE NO.	<u>S15-11-TII</u>
RECEIVED:	<u>06 NOV 15</u>

SHEET(S) TWO – Existing Site Conditions.

Location, widths, and type of construction of all existing streets, street names, alleys, or other public ways and easements, street classifications as per the approved regional transportation plan, railroad and utility rights-of-way or easements, parks, wooded areas, cemeteries, watercourses, drainage ditches, designated wetlands, low areas subject to flooding, permanent buildings, bridges, and other data considered pertinent by the Planning Commission or the Planning Director for the subject land, and within three hundred (300) feet of the proposed project or six hundred twenty-five (625) feet for extractive industry development.

SEE SWPP
AND UTIL
PLAN

Existing water mains, fire hydrants, storm sewers, sanitary sewers, culverts, bridges, and other utility structures or facilities within, adjacent to, or serving the subject land, including pipe sizes, grades, and exact locations, as can best be obtained from public or private records.

Existing contours based in U.S.G.S. datum with intervals of not more than two (2) feet. Elevations shall be based on sea level datum.

SEE "POND
RISER
SECTIONS"

The water elevation at the date of the survey of rivers, lakes, streams, or designated wetlands within the project or affecting it, as well as the approximate high and low water elevation of such rivers, lakes, streams, or designated wetlands. The plan shall also show the boundary line of the regulatory 100-year flood. The plan shall also show the base flood elevation of the regulatory 100-year flood at any building location along with the elevation of the lowest finished floor. All elevations shall be based on sea level datum.

SHEET(S) THREE – Proposed Site Conditions.

Location, widths, and type of construction of all existing and proposed streets, street names, alleys, or other public ways and easements, railroad and utility rights-of-way or easements, parks, wooded areas, cemeteries, watercourses, drainage ditches, designated wetlands, low areas subject to flooding, permanent buildings, bridges, and other data considered pertinent by the Planning Commission or the Planning Director for the subject land, and within three hundred (300) feet of the proposed project or six hundred twenty-five (625) feet for extractive industry development.

Existing and proposed water mains, fire hydrants, storm sewers, sanitary sewers, culverts, bridges, and other utility structures or facilities within, adjacent to, or serving the subject land, including pipe sizes, grades, and exact locations, as can best be obtained from public or private records.

Water Supply Plan. For development that involves the use of water at higher volumes than customarily associated with nonindustrial-type development, the City may require, in coordination with the Morgantown Utility Board, a water supply plan. A water supply plan must include at least the identification of the water source(s); the development and use of freshwater impoundments, if applicable; when and where water withdrawals will occur; necessary operational water volumes; potential competing water users; and, cumulative impact of the development's water consumption to the public water system, watersheds and/or groundwater.

 Applicant Initials



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE	
CASE NO.	<u>515-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

- Building setback lines, showing dimensions.
- Internal and perimeter sidewalk system/pedestrian circulation plan.
- Proposed contours with intervals of not more than two (2) feet. The plan shall also show the contour line for the floodway fringe boundary. Grading plans and drainage plans and calculations are not required for Planning Commission site plan review, but shall be required prior to issuance of any building permits. Such plans shall be prepared by a registered design professional licensed by the State of West Virginia, and as authorized by West Virginia State law; and shall also meet the City's stormwater management ordinance and all applicable local, state and federal regulations.
- Location and detail plans for all trash dumpsters.
- Location and detail plans for utility and mechanical equipment placed on the ground (e.g. pad-mounted transformers, HVAC units, etc.).
- The number of employees, families, housekeeping units, bedrooms, or rental units the structure(s) is designed to accommodate.
- If applicable, the clear zone for structures similar to silos, grain bins, windmills, chimneys, stacks, spires, flag pole, skylights, derricks, conveyors, cooling towers, observation towers, water tanks, telecommunication facilities, etc. in excess of fifty (50) feet in height.

SHEET(S) FOUR – Preliminary Landscape Plan and Preliminary Site Lighting Plan. A preliminary landscape plan prepared to the standards specified in the City's zoning ordinance. A preliminary site lighting plan that includes exterior light fixture details and photometric plans in footcandles.

NOT NECESSARY

SHEET FIVE – Plat-like dedication sheet, if necessary.

- Parcels of land proposed to be dedicated or reserved for public use, or reserved for common use of all property owners within the project, with the proposed conditions and maintenance requirements, if any, shall be designated as such and clearly labeled on the plans;
- Radii, internal angles, points of curvature; tangent bearings and lengths of all arcs, chord, and chord bearings; and
- Accurate location of all survey monuments erected, corners and other points established in the field in their proper places.

SHEET(S) SIX – Floor Plans. Floors plans must illustrate and identify internal and external dimensions, uses, gross floor areas, and include a summary table of residential unit types and/or nonresidential use gross floor areas and any additional information deemed necessary for proper review of the development plan by the Planning Director, City Engineer, or Planning Commission.

 Applicant Initials



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE	
CASE NO.	<u>515-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

SHEET(S) SEVEN – Building Elevations. Elevations of all facades illustrating height of building; top of adjoining finish grade elevation; exterior building components (roof, walls, foundation, etc.); exterior finishes and materials; roof slope or pitch; window types; exterior stairs, landings, guardrails, and handrails; and, any additional information deemed necessary for proper review of the development plan by the Planning Director, City Engineer, or Planning Commission.

SHEET(S) EIGHT – Parking Layout Plan. Parking layout plan must identify ingress and egress driveway entrance(s) and distances of same from neighboring property boundaries, existing driveway entrances, and intersections; layout of internal roadway; parking stall types, and dimension details for parking stalls and drive aisles; pedestrian circulation plan (if required); and, any additional information deemed necessary for proper review of the development plan by the Planning Director, City Engineer, or Planning Commission.

SEE
SITE
PLAN

ALL SHEETS shall contain the following information:

- All dimensions shown on plans relating to the size of the lot and the location of the structure(s) thereon be based on an actual survey by a registered land surveyor or registered design professional licensed by the State of West Virginia and as authorized by West Virginia State law, said survey to be provided by the applicant.
- The proposed name by which the project shall be legally and commonly known.
- Date of survey, scale, and north point.
- All lots or outlots intended for sale or lease shall be designated with boundary lines and numbered or labeled for identification purposes.
- Private parks, common areas, or excluded parcels shall be designated as such and clearly labeled on the plans.
- All necessary reference points tying the subject property to the appropriate section corners.
- Each sheet shall be sealed and signed by the professional preparing the drawings.
- All sheets shall be tied to state plane coordinates for horizontal and vertical controls.
- Such other information as may be deemed necessary for proper review of the site plan by the Planning Director, City Engineer, or Planning Commission to determine conformance with and provide for the enforcement of these zoning regulations.


 Applicant Initials



City of Morgantown, West Virginia
**APPLICATION FOR
 TYPE III SITE PLAN REVIEW
 DEVELOPMENTS OF SIGNIFICANT IMPACT**

OFFICE USE	
CASE NO.	<u>515-11-TII</u>
RECEIVED:	<u>06 NOV 15</u>

NOT
NCL.
VA

- TRAFFIC AND ROADWAY IMPACT.** For development which, in the opinion of the City Engineer, may create excessive negative impacts on traffic and/or dedicated City roadways, rights-of-way, or improvements in the immediate vicinity that serve the use, the City may require an analysis of the proposed development's impact on current or future traffic flows and/or dedicated City roadways, rights-of-way, or improvements, at the developer's expense, prepared by a qualified professional engineer. The Planning Commission may also table consideration of a development and refer such development to the City Engineer to ask his or her opinion as to whether a traffic impact study, transportation route plan, and/or transportation route protection agreement may be warranted.

- Traffic Impact Study. If the traffic impact study indicates that the projected traffic impact of the use would result in a two (2) full letter grade decline in the existing Level of Service (e.g., going from a Level of Service B to a Level of Service D) of any dedicated City street directly serving the use, such finding may be considered sufficient grounds for denial of the project, or a requirement that sufficient improvements be made to said streets, at the developer's expense, or that the project be reduced in size and scope to the point where no such negative impact on the Level of Service results. Level of Service refers to the traffic grading system described in the latest edition of the Highway Capacity Manual, published by the Transportation Research Board.

- Approved WV Division of Highways Permit and/or Agreement, if applicable, is not required for Planning Commission site plan review, but shall be required prior to issuance of a building permit. In the event a traffic analysis or traffic impact study is required and the review of same involves WV Division of Highways, written/electronic correspondence from the WV Division of Highways documenting its approval of the traffic analysis or traffic impact study must be presented to the Planning Commission by the applicant prior to DSI site plan approval.

- Transportation Route Plan. A transportation route plan shall include a map of routes and roads for equipment, supplies, chemicals or waste products used or produced by the development. The plan shall include a list of the length of all public roads that will be used for site ingress and egress to Morgantown corporate limits. The map shall also show the location of any areas within the City along the transportation route proposed for truck staging or storage related to the development's operations. The City may restrict the hours of operation of vehicles when the proposed transportation route passes through a designated school zone, heavily used roadways or intersections, or along local residential streets. In the event of construction detours, roadway closure or roadway deterioration along an approved transportation route, the City Engineer may amend the approved transportation route plan.

- Transportation Route Protection Agreement. For development which, in the opinion of the City Engineer may damage or create excessive deterioration to dedicated City roadways, rights-of-way, or improvements, the City may require a transportation route protection agreement. The agreement shall stipulate that the City roadways, rights-of-way, and improvements shall be maintained equal to or better than the original condition; stipulate any required major improvements and restrictions; stipulate the manner in which dirt, dust, mud and debris is to be controlled from leaving the development site; and, required bond. Additional information will be provided to applicants concerning the required provisions and minimum terms should the City Engineer determine that a Transportation Route Protection Agreement will be required.

Applicant Initials



City of Morgantown, West Virginia
APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT

OFFICE USE	
CASE NO.	<u>515-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

EMERGENCY RESPONSE AND HAZARDOUS MATERIALS PLANNING.

NA

Emergency Action Response Plan. For development that involves the use and/or storage of large volumes of highly flammable, toxic matter, or explosive materials, the City may require an Emergency Action Response Plan. Additional information will be provided to applicants concerning required plan elements should the City determine that an Emergency Action Response Plan is required.

NA

Hazardous Materials Management Plan. For development that involves the use, storage, or generation of hazardous materials and wastes, the City may require a Hazardous Materials Management Plan. Additional information will be provided to applicants concerning required plan elements should the City determine that a Hazardous Materials Management Plan is required.

OTHER REQUIRED SUBMITTALS. The applicant shall submit written documentation of the following:

NA

All applications for a DSI Site Plan shall be accompanied by a list of the property owners' names and addresses located within 200 feet of any property line of the development site, including the owner(s) of the subject development site, as of record in the office of the Monongalia County Assessor. The applicant must also submit the tax map and parcel numbers for the list of properties and a stamped and addressed envelope for each of the names and addresses of the property owners within 200 feet of the site. A return address shall not be affixed to the envelopes.

NA

Utility encroachment approvals, when applicable and/or required.

NA

Other local, state, and federal approvals, including other City boards, commissions, or departments, when applicable and/or required.

NA

Inspection and testing agreements with the Engineering Department, when applicable and/or required.

NA

Outside reviews as required by the City, when applicable and/or required.

NA

Easements and rights-of-ways not on a plat-like document shall be submitted in the form prescribed by the Engineering Department and include both a full legal description and a drawing exhibit, when applicable and/or required.

Erosion and Sediment Control Plan. Prior to the issuance of any permit authorizing any work relating to grading, grubbing, stripping, etc. as defined and regulated by City Code Article 1741 "Grading Requirements" and/or City Code Article 929 "Stormwater Management and Surface Water Discharge Control," an Erosion and Sediment (E&S) Control Plan must be submitted, reviewed, and approved by the City Engineer and the Morgantown Utility Board (MUB). All control plan documents and design details and all measures for soil erosion and sediment control and sequencing of installation must meet or exceed current methods and standards adopted by the City of Morgantown, the Morgantown Utility Board (MUB), and the West Virginia Department of Natural Resources (WVDNR). The City Engineer and/or the Morgantown Utility Board (MUB) has the right to require additional erosion control measures in the field as conditions warrant.

 Applicant Initials



City of Morgantown, West Virginia
**APPLICATION FOR
TYPE III SITE PLAN REVIEW
DEVELOPMENTS OF SIGNIFICANT IMPACT**

OFFICE USE	
CASE NO.	515-11-III
RECEIVED:	06 NOV 15

- REJECTION OF PLANS.** No site plan shall be accepted unless it is complete and is verified as to the correctness of information given by the signature of the applicant attesting thereto. The Planning Division may reject any submittal for the following reasons:
- Incomplete application.
 - The drawing set or supporting documents are not complete.
 - Poor legibility.
- NEIGHBOR NOTIFICATION.** Using the list of the property owners' names and addresses and stamped and addressed envelopes, the Planning Division shall send written notification to property owners within 200 feet of any property line of the development of the time, date and location of the Planning Commission meeting at which the project will be considered.
- PLANNING COMMISSION APPROVAL OF DSI SITE PLAN.** Site plans approved by the Planning Commission authorize only the use, arrangement, and construction set forth in such approved site plans and no other use, arrangement or construction. Furthermore, the approval of a site plan shall not be construed to be approval of any violation of the provisions of the Planning and Zoning Code. The issuance of a building permit based upon site plans given approval by the Planning Commission shall not prevent the Planning Division from thereafter requiring the correction of errors in said site plans or from preventing operations from being carried on thereunder when in violation of the Planning and Zoning Code. Site plan approval does not eliminate the need to obtain an approved building permit and the applicant's responsibility to meet all other requirements established by local, state and federal regulations.
- RESUBMITTAL OF PLANS.** Should the Planning Commission grant approval of a DSI site plan, the applicant shall submit three (3) complete full-scale sets of the final, revised plans showing conditions required by the Planning Commission and Board of Zoning Appeals, should the site plan require variance and/or conditional use approval and conditions were included therein. One (1) copy of the site plan submitted for building permits shall be returned to the applicant after the Planning Division has marked such copy as either approved or disapproved as to the provisions of the Planning and Zoning Code and any conditions included in such approval by the Planning Commission and, if applicable, the Board of Zoning Appeals, and attested to same by his/her signature on such copy. The original, similarly marked shall be retained by the Planning Division.
- DEVIATION FROM THE APPROVED SITE PLAN AND ADDITIONS TO EXISTING STRUCTURES.**
- If the installation of the elements on the site plan materially deviate from the approved site plan (as determined by the Planning Director or City Engineer), the site plan shall be resubmitted to the Commission or Board for a new site plan approval in accordance with the procedures and requirements for site plan approval. For purposes of this section, material deviation is one that:


Applicant Initials



City of Morgantown, West Virginia
**APPLICATION FOR
 TYPE III SITE PLAN REVIEW
 DEVELOPMENTS OF SIGNIFICANT IMPACT**

OFFICE USE	
CASE NO.	<u>515-11-III</u>
RECEIVED:	<u>06 NOV 15</u>

- Adds, removes, or reconfigures an internal street or relocates an access point.
- Affects a condition of site plan approval that was established by the Commission or Board during the site plan approval stage.
- Reduces the area devoted to open spaces or buffer landscaping.
- Involves the enlargement of a nonresidential building footprint on the site due to future additions that are more than ten percent (10%) of the gross floor area or 5,000 square feet, whichever is less.
- Minor changes that do not constitute material deviation shall be reviewed and approved by the City Planning and Engineering staff.

ELECTRONIC SUBMITTAL OF FINAL PLANS AND OTHER DOCUMENTS. Final plans or other documents required to be submitted under the Type III DSI Site Plan review that will be archived must be submitted in the most current version of Adobe Acrobat Portable Document Format (PDF) and/or AutoCAD. Electronic submittal of said plans and other documents shall be a condition to issuance of any type of permit, approval, or other action related to the final plans or documents. The Planning Division shall provide a schedule indicating which documents must be provided electronically, at which point during the approval process, and other information as necessary for archiving purposes.

EXPIRATION DEADLINES.

- Approval of site plans shall expire two (2) years from the date of approval if the project has not been completed. The Planning Commission or the Board of Zoning Appeals, at its discretion, may grant extensions for a period up to two (2) years.
- Bonded improvements must be completed within two (2) years of issuance of land alteration permit.
- Request for extension must be submitted in writing stating the justification for the extension.

I hereby certify that I have read ADDENDUM A – SITE PLAN SUBMISSION REQUIREMENTS AND CHECKLIST and understand that all applications for Type III Development of Significant Impact (DSI) Site Plan Review must be accompanied by the complete and accurate site plan drawings/exhibits set forth herein. I further understand that failure to submit all required site plan drawings/exhibits will result in an incomplete application determination and likely delay in the scheduling of a hearing with the Planning Commission.

Ryan Hess

11-06-2015

Type/Print Name of Applicant/Agent

Signature of Applicant/Agent

Date

SITE DEVELOPMENT PLANS

PROPOSED RETAIL

MAPLE DRIVE & RESEARCH PARK ROAD

CITY OF MORGANTOWN

MONONGALIA COUNTY, WEST VIRGINIA

PROJECT CONTACT LIST:

WATER
MORGANTOWN UTILITY BOARD
278 GREENBAG ROAD
MORGANTOWN, WV 26507
(304) 225-3669 PHONE
CONTACT: DAVE BRAGG

GAS
DOMINION HOPE
1000 DUPONT RD.
MORGANTOWN, WV
(304) 296-3481 PHONE

STATE DEPT. OF TRANSPORTATION
WVDOH
1-79 & MEADOWBROOK ROAD
CLARKSBURG, WV 26302-2570
(304) 842-1500 PHONE
CONTACT: RAY URSE

SEWER
MORGANTOWN UTILITY BOARD
278 GREENBAG ROAD
MORGANTOWN, WV 26507
(304) 225-3669 PHONE
CONTACT: DAVE BRAGG

SEDIMENT & EROSION CONTROL
MORGANTOWN UTILITY BOARD
278 GREENBAG ROAD
MORGANTOWN, WV 26507
(304) 225-3669 PHONE
CONTACT: KEN HACKER

FIBER OPTIC
LUMOS
4600 J VARRY CT. SUITE 110
CANNONSBURG, PA 15317
(724) 216-9015 PHONE
(412) 992-7655 CELL
CONTACT: BILL BEAUER

ELECTRIC
MON POWER
1310 FAIRMONT AVE.
FAIRMONT, WV
(304) 284-1235 PHONE
CONTACT: MARK LEHOST

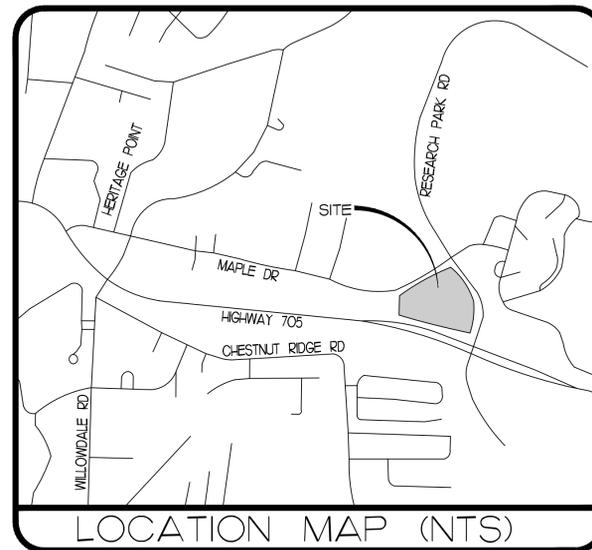
WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION
601 57TH ST. SE
CHARLESTON WV 25304
(304) 928-0499 EXT. 1014
CONTACT: YOGESH PATEL

PROPOSED PRINCIPAL RETAIL BUILDING - 13,500 SF
TOTAL SITE ACREAGE - 2.66 AC
EXISTING ZONING - N/A
ANTICIPATED ZONING - B-5

ANTICIPATED START AND COMPLETION DATES -
3/1/2016 - 11/1/2016

TELEPHONE
FRONTIER COMMUNICATIONS
1325 AIRPORT BLVD.
MORGANTOWN, WV
(304) 291-9880 PHONE
CONTACT: DAVID HYDE

BUILDING INSPECTION
389 SPRUCE STREET
MORGANTOWN, WV 26505
(304) 284-7401
CONTACT: INSPECTION DIVISION



SHEET INDEX

NO.	TITLE
1	COVER
2	SWPP PHASE 1
3	SWPP PHASE 2
4	SWPP PHASE 3
5	SWPP DETAILS
6	SWPP DETAILS
7	SWPP DETAILS
8	SWPP DETAILS
9	SITE PLAN
10	SITE DETAILS
11	SITE DETAILS
12	UTILITY PLAN
13	UTILITY DETAILS
14	GRADING PLAN
15	STORM PROFILES
16	STORM PROFILES
17	SEWER PROFILE
18	POND RISER SECTIONS
19	STORM DETAILS
20	LANDSCAPE PLAN
21	WVDOH ROAD CROSS SECTIONS
22	WVDOH ROAD CROSS SECTIONS
23	WVDOH DETAILS
24	WVDOH DETAILS

OWNER/APPLICANT:

FEOH REALTY, LLC
3280 UNIVERSITY AVENUE
SUITE 1
MORGANTOWN, WV 26505
TEL: (304) 599-4929

ENGINEER:

FREELAND AND KAUFFMAN, INC.
209 WEST STONE AVENUE
GREENVILLE, SC 29609
TEL: (864) 672-3426
FAX: (864) 233-8915
CONTACT: TODD SIMMONS

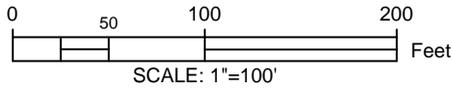
GENERAL NOTES

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSING WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHICHEVER IS LESS, CONTACT FREELAND AND KAUFFMAN, INC. AT 1-864-233-5497 AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. OWNER, AND FREELAND AND KAUFFMAN, INC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
4. CALL UTILITY LOCATOR SERVICE 72 HOURS IN ADVANCE OF DIGGING AT 811.
5. ALL WORK SHALL MEET OR EXCEED SITE WORK SPECIFICATIONS AND CONFORM TO THE CITY OF MORGANTOWN AND MORGANTOWN UTILITY BOARD STANDARDS AND SPECIFICATIONS.
6. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR CITY OF MORGANTOWN STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
7. ALL WORK PERFORMED WITHIN THE WVDOH RIGHTS-OF-WAY WILL BE COVERED BY AN AGREEMENT & ENCROACHMENT PERMIT WITH THE STATE OF WEST VIRGINIA DIVISION OF HIGHWAYS. ALL WORK PERFORMED WITHIN WVDOH RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH WVDOH STANDARD SPECIFICATIONS FOR ROADS & BRIDGES, DATED 2010 & WVDOH SUPPLEMENTAL SPECIFICATIONS, DATED MAY 20, 2011. ALL NECESSARY TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE WVDOH MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS 2006 EDITION.
8. PRE CAST DRAINAGE AND SANITARY SEWER STRUCTURES HAVE BEEN SPECIFIED ON THE PLANS. OWNER, AND FREELAND AND KAUFFMAN, INC., HOWEVER, ASSUME NO RESPONSIBILITY FOR THESE STRUCTURES AS FIELD CONDITIONS DURING CONSTRUCTION OFTEN DICTATE MINOR ELEVATION ADJUSTMENTS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND EXPENSE FOR MODIFYING THESE STRUCTURES TO ACCOMMODATE THESE FIELD ADJUSTMENTS.
9. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO MORGANTOWN UTILITY BOARD AND ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
10. ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF MORGANTOWN UTILITY BOARD AND THE STATE OF WEST VIRGINIA OFFICE OF ENVIRONMENTAL SERVICES.
11. THE NOTICE OF INTENT MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
12. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE REQUIRED TESTING OF THE WATER AND SEWER LINES.
13. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
14. THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC., AS REQUIRED FOR AS-BUILT CERTIFICATION.
15. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE, RETAINING SERVICES OF A REGISTERED ENGINEER TO WITNESS TESTING OF WATER AND SEWER LINES. THE CONTRACTOR SHALL ALSO INCLUDE IN HIS CONTRACT PRICE AND PROVIDE AS-BUILT UTILITY PLANS FOR WATER & SEWER, STAMPED BY A REGISTERED SURVEYOR. THIS MATERIAL WILL BE SUBMITTED BY THE CONTRACTOR TO OBTAIN REQUIRED CERTIFICATIONS OR PERMITS TO OPERATE.
16. SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO ENSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
17. ALL DRAINAGE STRUCTURES MUST MEET WVDOH'S SPECIFICATIONS.
18. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

REVISIONS	DATE	BY



NOTE: SEE LEGAL DESCRIPTION OF PROJECT PROPERTY AND ADJACENT PROPERTIES ON SUBSEQUENT SITE PLAN PAGES.



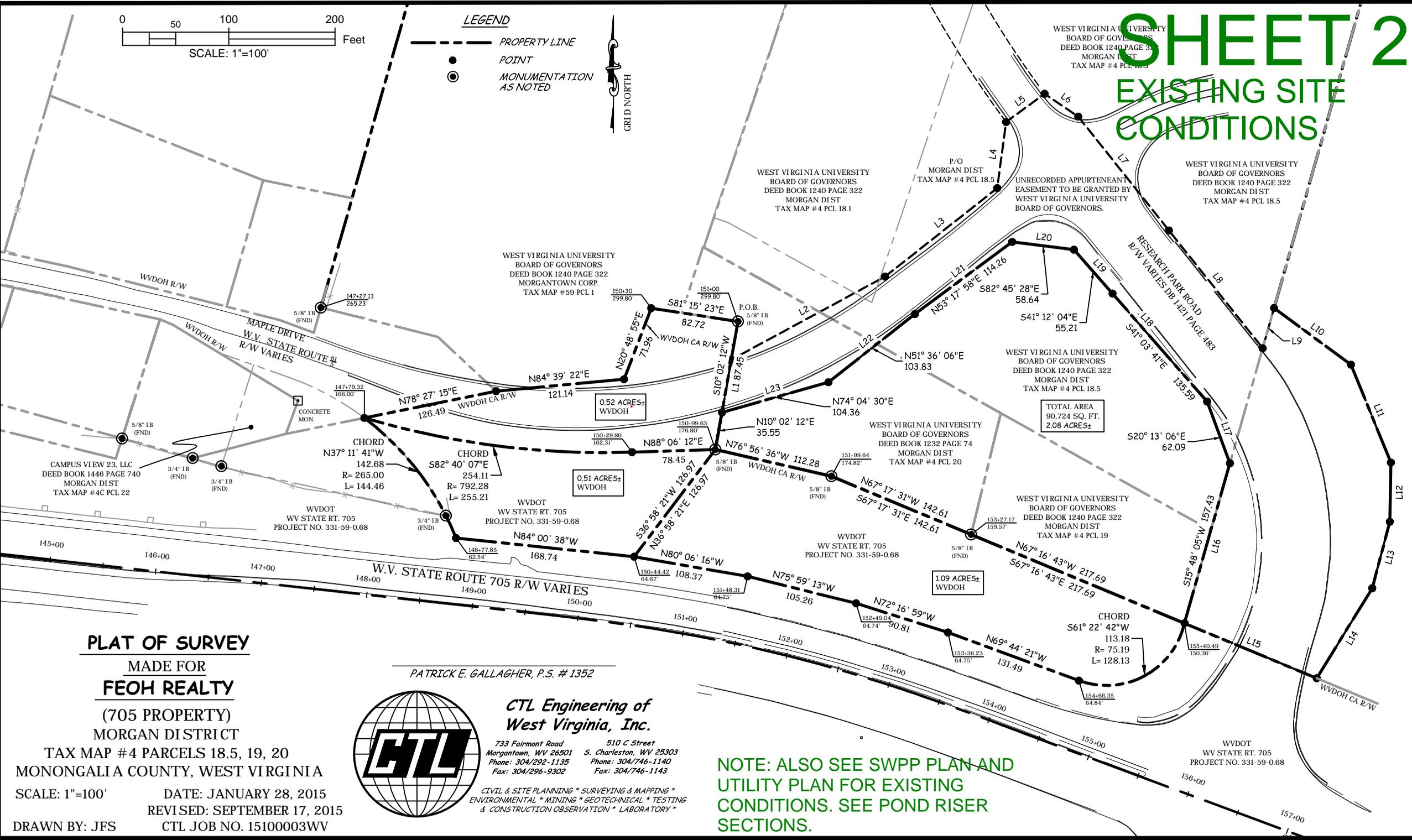
LEGEND

- PROPERTY LINE
- POINT
- ⊙ MONUMENTATION AS NOTED



SHEET 2

EXISTING SITE CONDITIONS



PLAT OF SURVEY
MADE FOR
FEOH REALTY

(705 PROPERTY)
 MORGAN DISTRICT
 TAX MAP #4 PARCELS 18.5, 19, 20
 MONONGALIA COUNTY, WEST VIRGINIA
 SCALE: 1"=100' DATE: JANUARY 28, 2015
 REVISED: SEPTEMBER 17, 2015
 DRAWN BY: JFS CTL JOB NO. 15100003WV



PATRICK E. GALLAGHER, P.S. # 1352

CTL Engineering of West Virginia, Inc.

733 Fairmont Road Morgantown, WV 26501 Phone: 304/292-1135 Fax: 304/296-9302

510 C Street S. Charleston, WV 25303 Phone: 304/746-1140 Fax: 304/746-1143

CIVIL & SITE PLANNING * SURVEYING & MAPPING * ENVIRONMENTAL * MINING * GEOTECHNICAL * TESTING & CONSTRUCTION OBSERVATION * LABORATORY *

NOTE: ALSO SEE SWPP PLAN AND UTILITY PLAN FOR EXISTING CONDITIONS. SEE POND RISER SECTIONS.

SITE PLAN NOTES

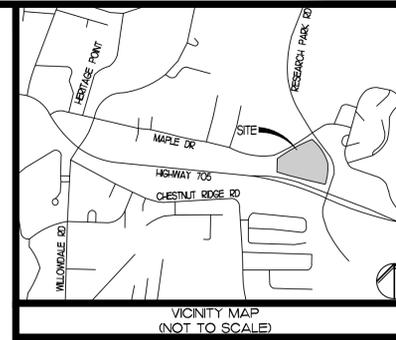
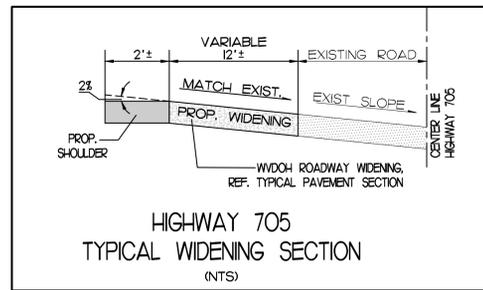
1. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, AND FOR THE EXACT LOCATION OF UTILITY ENTRANCES, ROOF LEADERS, EXIT DOORS, EXIT STOOPS, ETC.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.
5. ALL STRIPING SHALL BE WHITE, 4" WIDE, UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH OWNER.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
8. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF MORGANTOWN REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
9. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS NOTED OTHERWISE.
10. EXISTING SITE IMPROVEMENTS WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
12. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY ROBERT MURPHY PLLC.
13. ASSUMED ZONING FOR SITE IN CITY OF MORGANTOWN IS B5.

OFF-SITE IMPROVEMENT NOTES

1. PAVEMENT MARKINGS (DIRECTIONAL ARROWS, MESSAGES AND LINES 12" & WIDER) SHALL BE PRE-FORMED MARKINGS (TYPE V) AND ALL LANE LINES LESS THAN 12" WIDE SHALL BE THERMOPLASTIC.
2. ALL EXISTING PAVEMENT MARKINGS CONFLICTING WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED BY SAND BLASTING, BEAD BLASTING, GRINDING OR OTHER METHODS APPROVED BY WVDOT TO THE SATISFACTION OF WVDOT. CONTRACTOR TO FIELD COORDINATE PAVEMENT MARKING REMOVAL WITH WVDOT.
3. ALL EXISTING ROAD SIGNS CONFLICTING WITH PROPOSED IMPROVEMENTS SHALL BE RELOCATED TO THE SATISFACTION OF WVDOT.
4. ALL PROPOSED TRAFFIC SIGNS SHALL BE MANUFACTURED AND INSTALLED PER WVDOT STANDARDS AND SPECIFICATIONS.
5. ALL DIMENSIONS ARE TO THE FACE OF CURB OR THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. ALL MATERIALS AND WORKMANSHIP OF OFF-SITE IMPROVEMENTS SHALL BE PER THE 2010 ISSUE OF WVDOT STANDARD SPECIFICATIONS AND THE 2012 ISSUE OF WVDOT SUPPLEMENTAL SPECIFICATIONS.
7. OFF-SITE IMPROVEMENTS SHALL BE CONTROLLED BY THE MARCH 1, 2003 ISSUE OF THE WVDOT EROSION AND SEDIMENT CONTROL MANUAL, INCLUDING ADDENDUM 1 DATED SEPTEMBER 1, 2004.
8. ALL PAVEMENT MARKINGS ARE TO RECEIVE 2 COATS OF GLASS BEADS.

SITE LEGEND

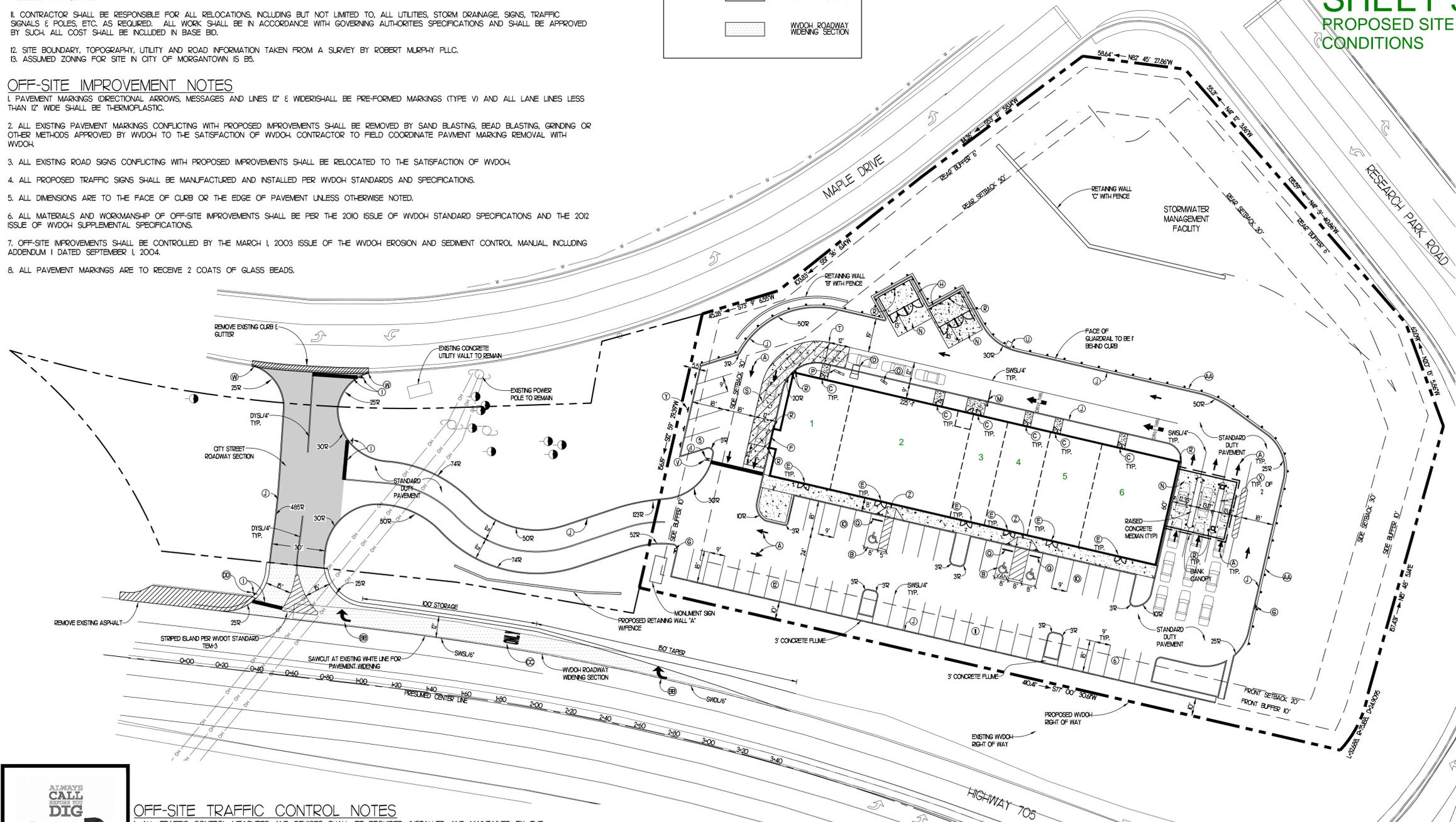
EXISTING	PROPOSED	DESCRIPTION
	③	NUMBER OF PARKING SPACES PER ROW
—	—	CURB & GUTTER
—	—	SIGN
—	—	HANDICAP PARKING SYMBOL
	▨	CONCRETE PAVEMENT & SIDEWALK (HEAVY DUTY AS NOTED)
	□	SITE LIGHT
	▨	STAMPED CONCRETE
	▨	CITY STREET ROADWAY SECTION
	▨	WVDOT ROADWAY WIDENING SECTION



SHEET 3 PROPOSED SITE CONDITIONS

SITE LEGEND

- (A) PAINTED DIRECTIONAL ARROW, TYPICAL, SEE DETAILS
- (B) ACCESSIBLE PARKING SPACE, TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE SPACE SIGN AND SYMBOL.
- (C) STORE SIDE ENTRANCE
- (D) STARBUCKS ORDER BOARD
- (E) STORE FRONT ENTRANCE
- (F) DRIVE THRU WINDOW
- (G) STARBUCKS DIRECTIONAL SIGN FOR DRIVE THRU
- (H) PROPOSED DUMPSTER ENCLOSURE (RE ARC-U)
- (I) 24" WHITE STOP BAR WITH "STOP" SIGN, SEE DETAILS
- (J) 6" STANDARD CURB, SEE DETAILS
- (K) CONNECT TO EXISTING CURB
- (L) STARBUCKS DIRECTIONAL SIGN
- (M) HEIGHT RESTRICTION BAR (BY TENANT)
- (N) HEAVY DUTY CONCRETE
- (O) STARBUCKS PRE MENU BOARD (BY TENANT), SEE ELEC SHEETS FOR COORD.
- (P) STARBUCKS MENU BOARD (BY TENANT), SEE ELEC SHEETS FOR COORD.
- (Q) WHEEL STOP (TYP)
- (R) 6" BOLLARD
- (S) 6" THICK, REINFORCED WITH WELDED WIRE MESH STAMPED CONCRETE
- (T) CONTRACTOR TO PLACE SENSOR STRIPS, PROVIDED BY STARBUCKS, PRIOR TO CONCRETE PLACEMENT, COORD. WITH ELEC DRAWINGS.
- (U) TRANSFORMER PAD
- (V) "ONE WAY DO NOT ENTER" SIGN
- (W) TIE TO EXISTING CURB & GUTTER
- (X) 6" MONOLITHIC RAISED CONCRETE ISLAND
- (Y) EMPLOYEE PARKING SIGN
- (Z) HO RAMP, TYPE AS INDICATED, SEE DETAILS
- (AA) GUARDRAIL (SEE DETAILS)
- (BB) TYPE V THERMO PLASTIC DIRECTIONAL ARROW PER WVDOT ITEM 3
- (CC) THERMO PLASTIC "ONLY" PER WVDOT ITEM 3
- (DD) NO LEFT TURN SIGN (R3-2)



OFF-SITE TRAFFIC CONTROL NOTES

1. ALL TRAFFIC CONTROL MEASURES AND DEVICES SHALL BE PROVIDED, INSTALLED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT TO THE SATISFACTION OF WVDOT AS PER CASES A9 & B2.
2. ALL TRAFFIC CONTROL MEASURES AND DEVICES SHALL BE MANUFACTURED, INSTALLED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD AND/OR SUPPLEMENTS THERETO TO THE SATISFACTION OF WVDOT.
3. FIELD CONDITIONS MAY REQUIRE TRAFFIC CONTROL MEASURES IN ADDITION TO MEASURES INDICATED ON THIS DRAWING. CONTRACTOR IS REQUIRED, ON SHEETZ'S BEHALF, TO COORDINATE ALL TRAFFIC CONTROL MEASURES WITH WVDOT.
4. CONTRACTOR IS REQUIRED TO ENSURE THAT, AT A MINIMUM, ALL EXISTING TRAFFIC PATTERNS ARE KEPT OPEN AND OPERATIONAL DURING THE CONSTRUCTION PHASE OF THIS PROJECT. CONTRACTOR TO COORDINATE WITH WVDOT.
5. CONTRACTOR TO INCLUDE ALL COSTS FOR TRAFFIC CONTROL IN BASE BID.
6. ALL LAND CLOSURES ON UNIVERSITY AVENUE SHOULD BE PERFORMED DURING OFF-PEAK HOURS AND COORDINATED WITH WVDOT DISTRICT 4 TRAFFIC AT 304-203-6541.

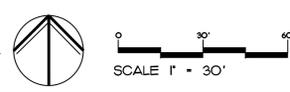
CONTRACTOR TO FURNISH & INSTALL MENU BOARDS, DIRECTIONAL SIGNAGE, HEIGHT RESTRICTION BAR, ETC. IN ACCORDANCE WITH STARBUCKS CRITERIA. COORDINATE WITH OWNER & STARBUCKS.

PARKING SUMMARY

TENANT	BUILDING SIZE	REQUIRED PARKING RATIO	REQUIRED PARKING SPACES	PROVIDED PARKING RATIO	PROVIDED PARKING SPACES
PROPOSED RETAIL	15,500 SF.	3.48 / 1000	47	4 / 1000	54

SITE ACREAGE: 2.69 ACRES

SITE PLAN



REVISIONS	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497
 fax 864-233-6916
 NC LICENSE NO. C-1532



PROPOSED RETAIL MORGANTOWN, WV
 FECH REALTY, LLC
 3280 UNIVERSITY AVENUE
 SUITE 1
 MORGANTOWN, WV 26505
 (304)-599-4929

DRAWN	LRS
CHECKED	BTS
DATE	11/6/2015
SCALE	

DRAWING
 9

SITE GRADING NOTES:

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC., THE CURRENT REQUIREMENTS OF THE CITY OF MORGANTOWN, THE APPLICABLE SECTIONS OF THE WVDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, PERTINENT FEDERAL AND STATE LAWS, AND THE CONTRACT SPECIFICATIONS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 94-54), FEDERAL REGISTER, CHAPTER XVI, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.

6. ALL SLOPES SHALL BE 2H (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
7. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL BE SEEDED. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1H OR STEEPER. CONTRACTOR SHALL SEED & MULCH DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS OR INSTRUCTED BY THE OWNER.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NOTES, PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
13. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY ROBERT MURPHY, P.L.L.C. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
15. ALL PROPOSED DRAINAGE STRUCTURES ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ACCURATE LOCATION OF THE STRUCTURES SUCH THAT THE APPLICABLE CASTING IS CORRECTLY ALIGNED WITH SURFACE FEATURES AS DESIGNED.
16. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 TYPE 1: REINFORCED CONCRETE PIPE (RCP) CLASS II, WALL B PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS PER ASTM C443 OR "TONGUE & GROOVE" TYPE FILLED WITH CEMENT MORTAR.
 TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) SMOOTH INTERIOR/ANNULAR EXTERIOR PER AASHTO M252 TYPES S, M24 TYPE 2 & M71-97 TYPE S WITH PIPE JOINTS & FITTINGS PER AASHTO M252 & M254.

NOTE: WVDOT WORK SHALL BE PERFORMED TO THE 2010 ISSUE OF THE STANDARD SPECIFICATIONS AND THE 2012 SUPPLEMENTAL SPECIFICATIONS.

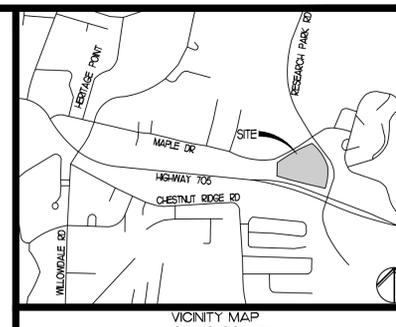
NOTE: WVDOT WORK SHALL BE CONTROLLED BY THE MARCH 1, 2003 ISSUE OF THE EROSION & SEDIMENT CONTROL MANUAL, INCLUDING ADDENDUM I, DATED SEPTEMBER 1, 2004.

ALL DOWNSPOUT COLLECTOR PIPE TO BE PVC SCH 40

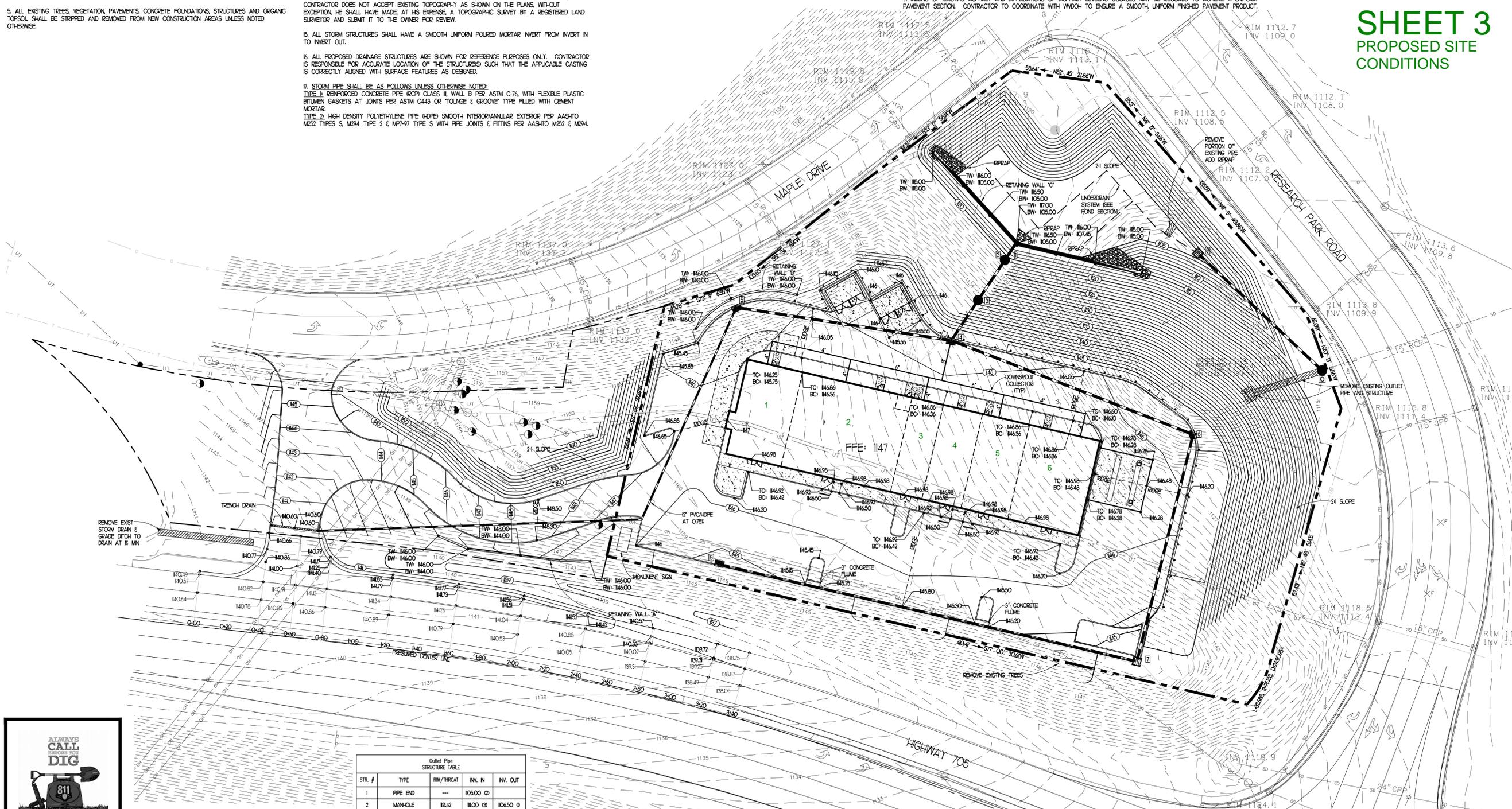
EXCESSIVELY HEAVY GRADING EQUIPMENT THAT COULD IMPOSE TEMPORARY EXCESSIVE PRESSURES OR LONG-TERM EXCESSIVE PRESSURES AGAINST THE CONSTRUCTED WALLS SHOULD NOT BE ALLOWED WITHIN 5 FEET OF THE WALLS.

ROADWAY GRADING NOTES:

1. CONTRACTOR TO ENSURE ALL ROADWAY WIDENING TEAMS HAVE A NEAT, SMOOTH & UNIFORM LINE BOTH HORIZONTALLY & VERTICALLY.
2. FOR CLARITY PURPOSES, PROPOSED CONTOURS DO NOT REFLECT ANY PROPOSED ASPHALT ON EXISTING TRAVEL WAYS WHERE THE SCOPE OF WORK DOES NOT INVOLVE REALIGNMENT OF EXISTING ROADWAYS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH WVDOT STANDARDS & SPECIFICATIONS.
4. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN ADJACENT RIGHT-OF-WAYS PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY EXCAVATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
5. ALL STORM DRAIN PIPES WITHIN WVDOT RIGHT-OF-WAYS SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS IV PER ASTM 76 WITH BUTYL MASTIC SEALANT PER ASTM C990-04 OR AASHTO M98.
6. ALL EXISTING VALVES, MANHOLE RINGS AND THE LIKE TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADES IN ACCORDANCE TO WVDOT STANDARDS & SPECIFICATIONS TO THE SATISFACTION OF WVDOT.
7. CONTRACTOR IS REQUIRED TO RELOCATE ALL UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS TO THE SATISFACTION OF WVDOT AND THE UTILITY OWNER.
8. ALL PROPOSED DRAINAGE STRUCTURES ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ACCURATE LOCATION OF THE STRUCTURE SUCH THAT THE APPLICABLE CASTING IS CORRECTLY ALIGNED WITH SURFACE FEATURES AS DESIGNED.
9. MILLING OF EXISTING ASPHALT AND APPLICATIONS OF ASPHALT LEVELING COURSES MAY BE REQUIRED TO ACHIEVE A UNIFORM PAVEMENT SECTION. CONTRACTOR TO COORDINATE WITH WVDOT TO ENSURE A SMOOTH, UNIFORM FINISHED PAVEMENT PRODUCT.

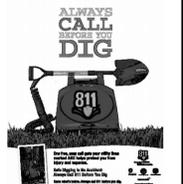


**SHEET 3
PROPOSED SITE
CONDITIONS**



Outlet Pipe Structure Table				
STR. #	TYPE	RIM/THROAT	INV. IN	INV. OUT
1	PIPE END	---	105.00 (2)	
2	MAN-HOLE	124.2	110.0 (3)	106.50 (1)
3	MAN-HOLE	125.0	122.50 (4)	115.50 (2)
4	COMBINATION INLET	145.5	133.72 (5)	127.00 (3)
5	COMBINATION INLET	145.00		135.55 (4)
6	COMBINATION INLET	145.5	136.78 (7)	125.33 (4)
7	COMBINATION INLET	144.25	138.33 (3)	128.23 (3)
8	COMBINATION INLET	144.60		141.00 (7)
9	OUTLET STRUCTURE	109.00		103.00 (3)
10	MAN-HOLE	149.0	102.47 (9)	

TRENCH DRAIN TO BE 12" HEAVY DUTY RATED & BOLTED DOWN.



EVERY DIGGING JOB REQUIRES A CALL - EVEN SMALL PROJECTS LIKE PLANTING TREES OR SHARERS. IF YOU HIT AN UNDERGROUND UTILITY LINE WHILE DIGGING, YOU CAN HARM YOURSELF OR THOSE AROUND YOU, DISRUPT SERVICE TO AN ENTIRE NEIGHBORHOOD AND POTENTIALLY BE RESPONSIBLE FOR FINES AND REPAIR COSTS. SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, WE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
925.00x	925.00	CONTOUR LINE
	925.00 ●	SPOT ELEVATION
	■	STORM DRAIN INLET
---	---	STORM DRAIN PIPE

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497
 fax 864-233-6916
 NC LICENSE NO. C-1532

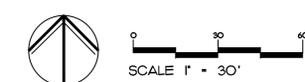


**PROPOSED RETAIL
MORGANTOWN, WV**
 FECH REALTY, LLC
 3280 UNIVERSITY AVENUE
 SUITE 1
 MORGANTOWN, WV 26505
 (304)-599-4929

DRAWN
LRS
CHECKED
BTS
DATE
11/6/2015
SCALE

DRAWING
14

GRADING PLAN



SITE UTILITY NOTES

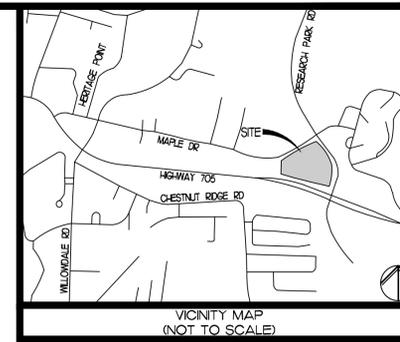
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC. THE CURRENT REQUIREMENTS OF MORGANTOWN UTILITY BOARD, CITY OF MORGANTOWN AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-554), FEDERAL REGISTER CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 811 AND MORGANTOWN UTILITY BOARD. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO OWNER STORE.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWINGS OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- UTILITY COMPANIES AND CONTACTS ARE LISTED ON COVER SHEET.
- CONDUIT LOCATIONS TO Pylon SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH OWNER.
- CONTRACTOR SHALL COORDINATE WITH OWNER ON TYPE AND SIZE OF THE GREASE TRAP. ALL SANITARY SEWER PIPE SPECIFICATION PROVIDED ELSEWHERE.
- CONTRACTOR SHALL COORDINATE WITH OWNER ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICES.

- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE. UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE COVER SHEET.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 6" PVC SDR26 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 8" DUCTILE IRON PIPE PER AWWA C900, FOR PIPES MORE THAN 18' DEEP
 4" & 6" PVC SDR-35
- WATER LINES SHALL BE AS FOLLOWS:
 3" AND LARGER - C900 PVC OR DP C900
 SMALLER THAN 3" - PE OR HDPE
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- WATER AND SEWER LINES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CROSSING LESS THAN 18" BETWEEN WATERLINES AND SANITARY LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED. MEETING REQUIREMENTS OF ANSI A21.0 OR ANSI 211 (AWWA C-919) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.

UTILITY LEGEND

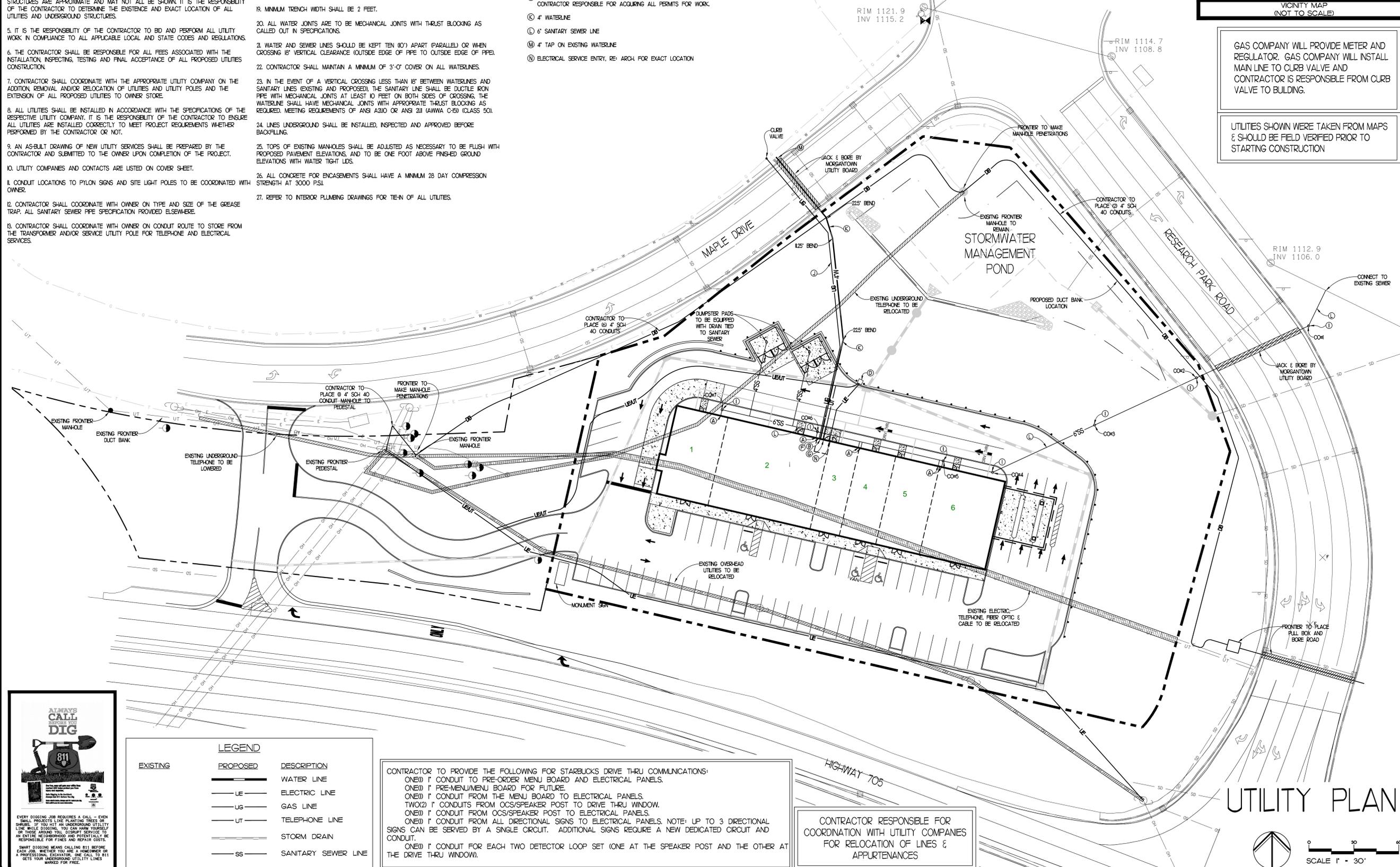
- (A) 6" SANITARY SEWER EXT, RE: ARCH FOR EXACT LOCATION
- (B) 4" WATERLINE ENTRY, RE: ARCH FOR EXACT LOCATION
- (C) 4" DOMESTIC WATER METER
- (D) PAD MOUNTED TRANSFORMER, PENDING MORGANTOWN UTILITY BOARD REVIEW
- (E) CT CABINET FOR ELECTRIC ENTRY, RE: ARCH FOR EXACT LOCATION
- (F) GAS ENTRY, RE: ARCH FOR EXACT LOCATION
- (G) TELEPHONE ENTRY, RE: ARCH FOR EXACT LOCATION
- (H) 4" WATER METER FOR IRRIGATION SYSTEM
- (I) SANITARY SEWER CLEAN-OUT, SEE DETAILS
- (J) NATURAL GAS LINE EXTENSION PENDING COORDINATION WITH DOMINION HOPE. CONTRACTOR RESPONSIBLE FOR ACQUIRING ALL PERMITS FOR WORK.
- (K) 4" WATERLINE
- (L) 6" SANITARY SEWER LINE
- (M) 4" TAP ON EXISTING WATERLINE
- (N) ELECTRICAL SERVICE ENTRY, RE: ARCH FOR EXACT LOCATION

**SHEET 3
PROPOSED SITE
CONDITIONS**



GAS COMPANY WILL PROVIDE METER AND REGULATOR. GAS COMPANY WILL INSTALL MAIN LINE TO CURB VALVE AND CONTRACTOR IS RESPONSIBLE FROM CURB VALVE TO BUILDING.

UTILITIES SHOWN WERE TAKEN FROM MAPS & SHOULD BE FIELD VERIFIED PRIOR TO STARTING CONSTRUCTION



EXISTING	PROPOSED	DESCRIPTION
---	---	WATER LINE
---	---	ELECTRIC LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	STORM DRAIN
---	---	SANITARY SEWER LINE

CONTRACTOR TO PROVIDE THE FOLLOWING FOR STARBUCKS DRIVE THRU COMMUNICATIONS:
 ONE(1) 1" CONDUIT TO PRE-ORDER MENU BOARD AND ELECTRICAL PANELS.
 ONE(1) 1" PRE-MENU/MENU BOARD FOR FUTURE.
 ONE(1) 1" CONDUIT FROM THE MENU BOARD TO ELECTRICAL PANELS.
 TWO(2) 1" CONDUITS FROM OCS/SPEAKER POST TO DRIVE THRU WINDOW.
 ONE(1) 1" CONDUIT FROM OCS/SPEAKER POST TO ELECTRICAL PANELS.
 ONE(1) 1" CONDUIT FROM ALL DIRECTIONAL SIGNS TO ELECTRICAL PANELS. NOTE: UP TO 3 DIRECTIONAL SIGNS CAN BE SERVED BY A SINGLE CIRCUIT. ADDITIONAL SIGNS REQUIRE A NEW DEDICATED CIRCUIT AND CONDUIT.
 ONE(1) 1" CONDUIT FOR EACH TWO DETECTOR LOOP SET (ONE AT THE SPEAKER POST AND THE OTHER AT THE DRIVE THRU WINDOW).

CONTRACTOR RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES FOR RELOCATION OF LINES & APPURTENANCES

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497
 fax 864-233-6916
 NC LICENSE NO. C-1532



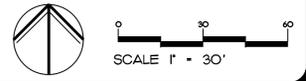
**PROPOSED RETAIL
MORGANTOWN, WV**
 FECH REALTY, LLC
 3280 UNIVERSITY AVENUE
 SUITE 1
 MORGANTOWN, WV 26505
 (304)-599-4929

DRAWN	LRS
CHECKED	BTS
DATE	11/6/2015
SCALE	

DRAWING
12



UTILITY PLAN



SW.P.P. PLAN NOTES:

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC., THE CURRENT REQUIREMENTS OF THE CITY OF MORGANTOWN AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.

2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.

4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 811 THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.

5. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

6. EXCEPT AS NOTED BELOW, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS CONDITIONS ALLOW. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITY CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY HALTED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH DAY AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED. AREAS WHERE THE SEED HAS FAILED TO GERMINATE ADEQUATELY UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% WITHIN 30 DAYS AFTER SEEDING AND MULCHING MUST BE RESEEDING IMMEDIATELY, OR AS SOON AS WEATHER CONDITIONS ALLOW. PERMANENT STABILIZATION FOR ALL DISTURBED AREAS IS TO BE COMPLETE WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION. DIVERSIONS MUST BE STABILIZED PRIOR TO BECOMING FUNCTIONAL.

7. THE CONTRACTOR SHALL INSPECT, REPAIR AND ADD STONE TO THE STONE CONSTRUCTION ENTRANCE WHEN IT BECOMES SATURATED WITH MUD TO INSURE THAT IT WORKS AS INTENDED.

9. SILT REMOVED FROM INLET PROTECTION AND FROM BEHIND THE SILT FENCES SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL STANDARDS.

10. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CLEANED, INSPECTED AND REPAIRED AFTER EACH SIGNIFICANT RAINFALL (0.50" / 24 H) AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.

11. TEMPORARY SEDIMENT CONTROL MEASURES (SLT FENCE, CONSTRUCTION ENTRANCE, ETC.) SHALL BE MAINTAINED UNTIL ALL CONTRIBUTING AREAS ARE GRADED AND STABILIZED.

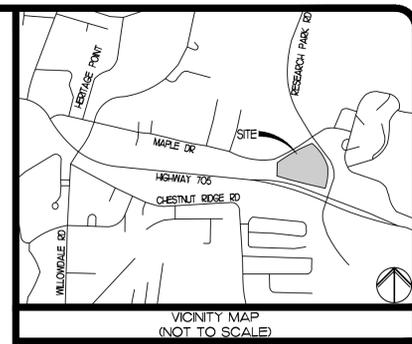
12. IF IT IS ANTICIPATED THAT DEWATERING WILL BE REQUIRED FOR UTILITY INSTALLATION AND POSSIBLY FOR FOOTING, CONTRACTOR IS RESPONSIBLE FOR INSTALLING A DEWATERING SYSTEM.

ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	2.66
ON-SITE DISTURBED AREA	2.66
OFF-SITE DISTURBED AREA	1.63
TOTAL DISTURBED AREA (GAST MATCH NO. 6)	4.36
IMPERVIOUS AREA AT COMPLETION (ON-SITE ONLY)	1.32
PERVIOUS/ SEEDED AREA AT COMPLETION (ON-SITE ONLY)	1.34

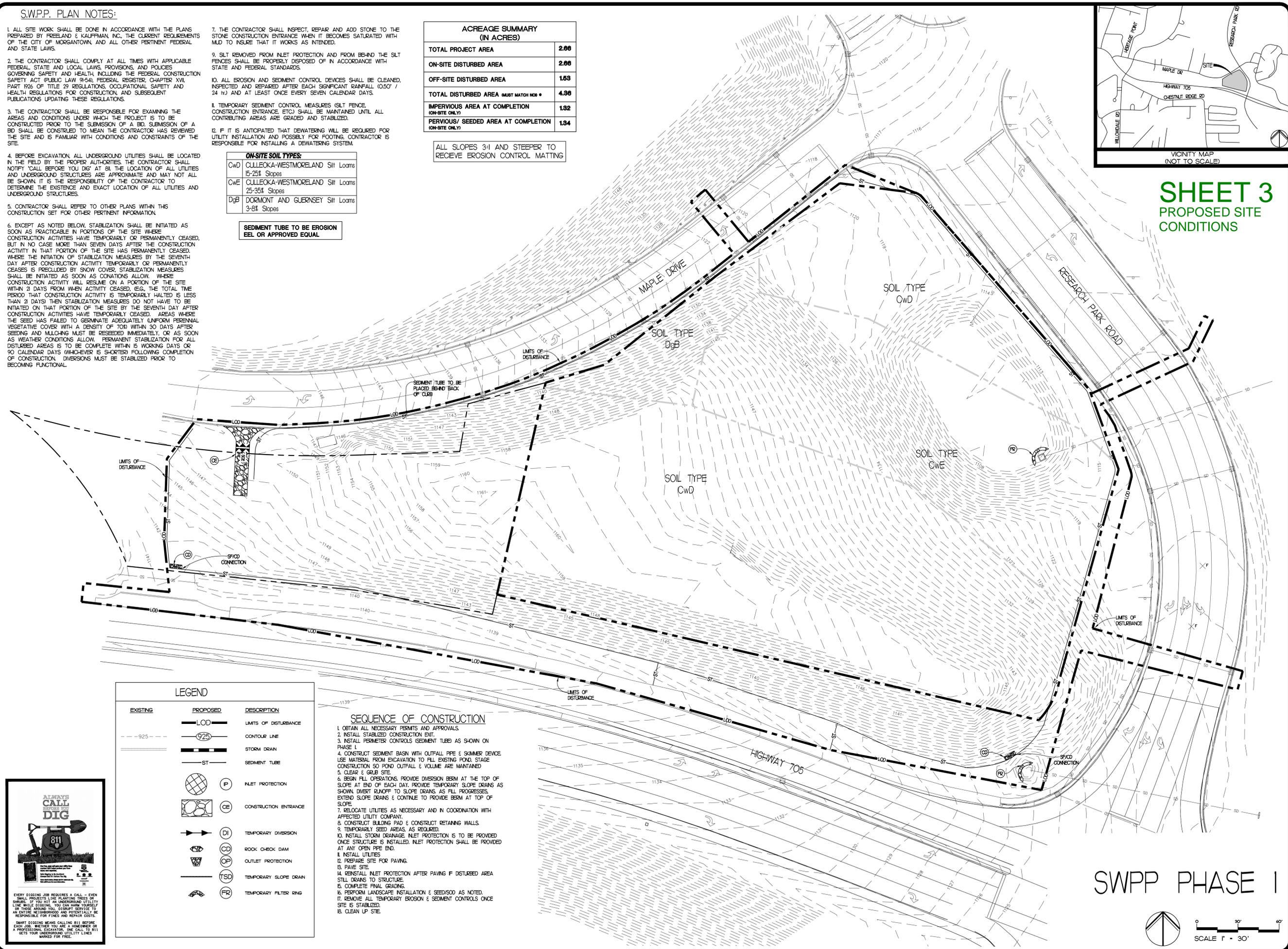
ALL SLOPES 3:1 AND STEEPER TO RECEIVE EROSION CONTROL MATTING

ON-SITE SOIL TYPES:	
CwD	CULLEOKA-WESTMORELAND Silt Loams 15-25% Slopes
CwE	CULLEOKA-WESTMORELAND Silt Loams 25-35% Slopes
DgB	DORMONT AND GUERNSEY Silt Loams 3-8% Slopes

SEDIMENT TUBE TO BE EROSION EEL OR APPROVED EQUAL



SHEET 3
PROPOSED SITE
CONDITIONS



LEGEND

EXISTING	PROPOSED	DESCRIPTION
--- 925 ---	— LOD —	LIMITS OF DISTURBANCE
---	— 925 —	CONTOUR LINE
---	— ST —	STORM DRAIN
---	— ST —	SEDIMENT TUBE
---	⊙ (P)	INLET PROTECTION
---	⊙ (CE)	CONSTRUCTION ENTRANCE
---	→ (DI)	TEMPORARY DIVERSION
---	⊙ (CD)	ROCK CHECK DAM
---	⊙ (OP)	OUTLET PROTECTION
---	— (TSD)	TEMPORARY SLOPE DRAIN
---	⊙ (FR)	TEMPORARY FILTER RING

SEQUENCE OF CONSTRUCTION

- OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
- INSTALL STABILIZED CONSTRUCTION EXIT.
- INSTALL PERIMETER CONTROLS (SEDIMENT TUBE) AS SHOWN ON PHASE 1.
- CONSTRUCT SEDIMENT BASIN WITH OUTFALL PIPE & SKIMMER DEVICE. USE MATERIAL FROM EXCAVATION TO FILL EXISTING POND. STAGE CONSTRUCTION SO POND OUTFALL & VOLUME ARE MAINTAINED.
- CLEAR & GRUB SITE.
- BEGIN FILL OPERATIONS. PROVIDE DIVERSION BERM AT THE TOP OF SLOPE AT END OF EACH DAY. PROVIDE TEMPORARY SLOPE DRAINS AS SHOWN. DIVERT RUNOFF TO SLOPE DRAINS AS FILL PROGRESSES. EXTEND SLOPE DRAINS & CONTINUE TO PROVIDE BERM AT TOP OF SLOPE.
- RELOCATE UTILITIES AS NECESSARY AND IN COORDINATION WITH AFFECTED UTILITY COMPANY.
- CONSTRUCT BUILDING PAD & CONSTRUCT RETAINING WALLS.
- TEMPORARILY SEED AREAS, AS REQUIRED.
- INSTALL STORM DRAINAGE INLET PROTECTION IS TO BE PROVIDED ONCE STRUCTURE IS INSTALLED. INLET PROTECTION SHALL BE PROVIDED AT ANY OPEN PIPE END.
- INSTALL UTILITIES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- REINSTALL INLET PROTECTION AFTER PAVING IF DISTURBED AREA STILL DRAINS TO STRUCTURE.
- COMPLETE FINAL GRADING.
- PERFORM LANDSCAPE INSTALLATION & SEED/SOD AS NOTED.
- REMOVE ALL TEMPORARY EROSION & SEDIMENT CONTROLS ONCE SITE IS STABILIZED.
- CLEAN UP SITE.



REVISIONS	BY

FREELAND and KAUFFMAN, INC.
Engineers & Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-6916
NC LICENSE NO. C-1532



**PROPOSED RETAIL
MORGANTOWN, WV**
FECH REALTY, LLC
3280 UNIVERSITY AVENUE
SUITE 1
MORGANTOWN, WV 26505
(304)-599-4929

DRAWN
LRS
CHECKED
BTS
DATE
11/6/2015
SCALE

DRAWING
2

SWPP PHASE I
SCALE 1" = 30'

SW.P.P. PLAN NOTES:

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC. THE CURRENT REQUIREMENTS OF THE TOWN OF MORGANTOWN AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.

7. THE CONTRACTOR SHALL INSPECT, REPAIR AND ADD STONE TO THE STONE CONSTRUCTION ENTRANCE WHEN IT BECOMES SATURATED WITH MUD TO INSURE THAT IT WORKS AS INTENDED.
9. SILT REMOVED FROM INLET PROTECTION AND FROM BEHIND THE SILT FENCES SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL STANDARDS.
10. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CLEANED, INSPECTED AND REPAIRED AFTER EACH SIGNIFICANT RAINFALL (0.50" / 24 H) AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
11. TEMPORARY SEDIMENT CONTROL MEASURES (SLT FENCE, CONSTRUCTION ENTRANCE, ETC.) SHALL BE MAINTAINED UNTIL ALL CONTRIBUTING AREAS ARE GRADED AND STABILIZED.
12. IF IT IS ANTICIPATED THAT DEWATERING WILL BE REQUIRED FOR UTILITY INSTALLATION AND POSSIBLY FOR FOOTING, CONTRACTOR IS RESPONSIBLE FOR INSTALLING A DEWATERING SYSTEM.

4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 811 THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.

5. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

6. EXCEPT AS NOTED BELOW, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS CONDITIONS ALLOW. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITY CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY HALTED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH DAY AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED. AREAS WHERE THE SEED HAS FAILED TO GERMINATE ADEQUATELY UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% WITHIN 30 DAYS AFTER SEEDING AND MULCHING MUST BE RESEED IMMEDIATELY, OR AS SOON AS WEATHER CONDITIONS ALLOW. PERMANENT STABILIZATION FOR ALL DISTURBED AREAS IS TO BE COMPLETE WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION. DIVERSIONS MUST BE STABILIZED PRIOR TO BECOMING FUNCTIONAL.

ON-SITE SOIL TYPES:

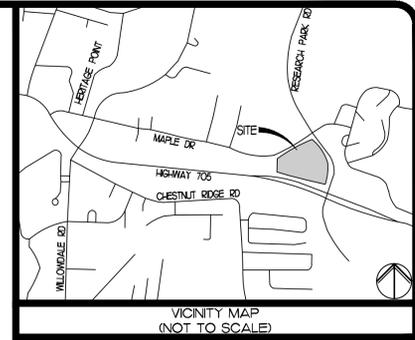
CwD	CULLEOKA-WESTMORELAND Silt Loams 15-25% Slopes
CwE	CULLEOKA-WESTMORELAND Silt Loams 25-35% Slopes
DgB	DORMONT AND GUERNSEY Silt Loams 3-8% Slopes

SEDIMENT TUBE TO BE EROSION EEL OR APPROVED EQUAL.

ACREAGE SUMMARY (IN ACRES)

TOTAL PROJECT AREA	2.66
ON-SITE DISTURBED AREA	2.66
OFF-SITE DISTURBED AREA	1.63
TOTAL DISTURBED AREA (GAST MATCH NO. 6)	4.36
IMPERVIOUS AREA AT COMPLETION (ON-SITE ONLY)	1.32
PERVIOUS/ SEEDED AREA AT COMPLETION (ON-SITE ONLY)	1.34

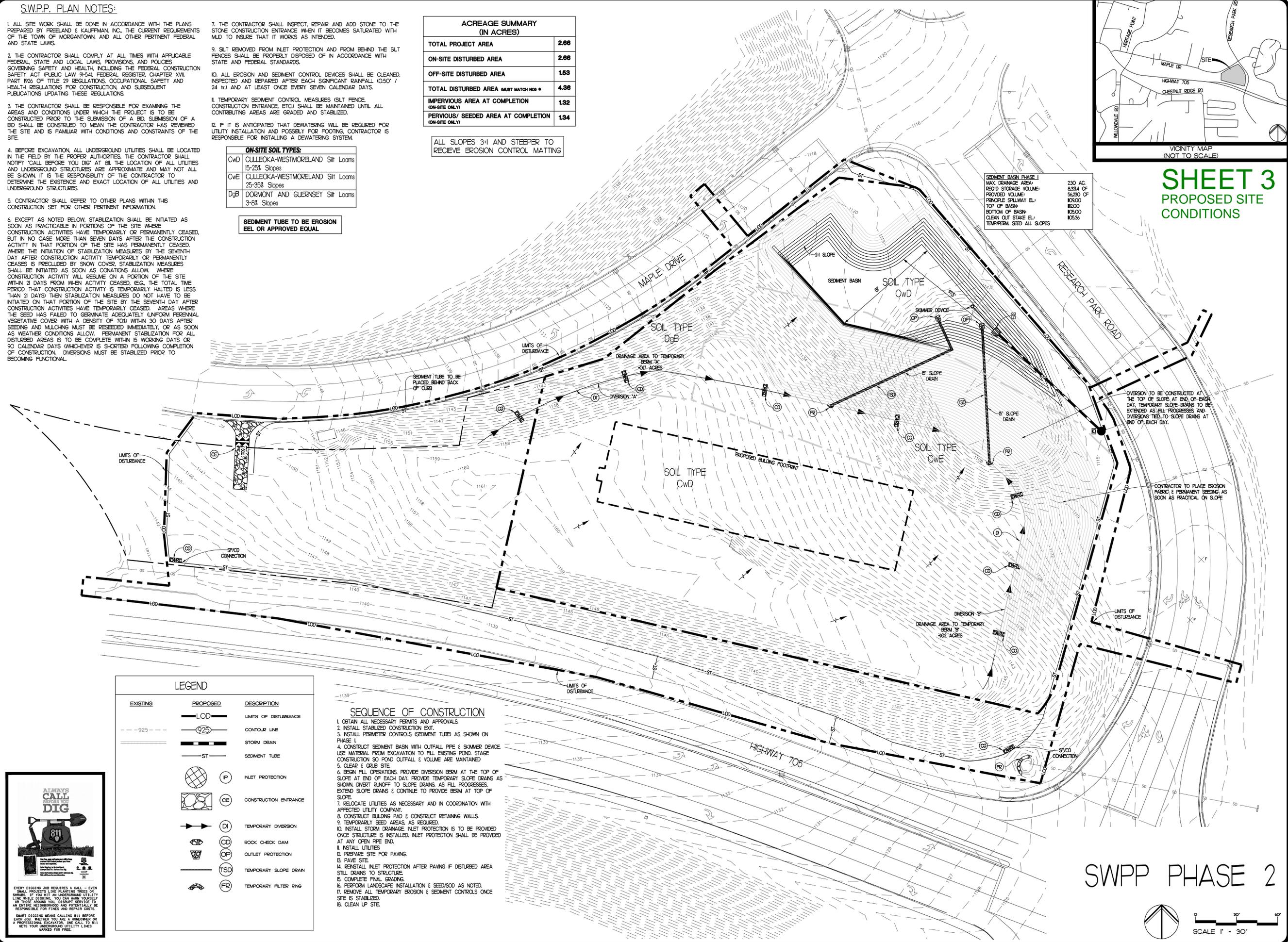
ALL SLOPES 3:1 AND STEEPER TO RECEIVE EROSION CONTROL MATTING



**SHEET 3
PROPOSED SITE
CONDITIONS**

SEDIMENT BASIN PHASE I

MAX. DRAINAGE AREA:	230 AC.
REQ'D STORAGE VOLUME:	8,324 CF
PROVIDED VOLUME:	56,200 CF
FRONT SILLWAY EL.:	10300
TOP OF BASIN:	10200
BOTTOM OF BASIN:	10500
CLEAN OUT STAKE EL.:	10536
TEMPERAM. SEED ALL SLOPES	



LEGEND

EXISTING	PROPOSED	DESCRIPTION
--- 925 ---	— LOD —	LIMITS OF DISTURBANCE
	— 925 —	CONTOUR LINE
	— ST —	STORM DRAIN
	— ST —	SEDIMENT TUBE
	(P)	INLET PROTECTION
	(CE)	CONSTRUCTION ENTRANCE
	(DI)	TEMPORARY DIVERSION
	(CD)	ROCK CHECK DAM
	(OP)	OUTLET PROTECTION
	(TSD)	TEMPORARY SLOPE DRAIN
	(FR)	TEMPORARY FILTER RING

- SEQUENCE OF CONSTRUCTION**
1. OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
 2. INSTALL STABILIZED CONSTRUCTION ENTR.
 3. INSTALL PERIMETER CONTROLS (SEDIMENT TUBE) AS SHOWN ON PHASE I.
 4. CONSTRUCT SEDIMENT BASIN WITH OUTFALL PIPE & SKIMMER DEVICE. USE MATERIAL FROM EXCAVATION TO FILL EXISTING POND. STAGE CONSTRUCTION SO POND OUTFALL & VOLUME ARE MAINTAINED.
 5. CLEAR & GRUB SITE.
 6. BEGIN FILL OPERATIONS. PROVIDE DIVERSION BERM AT THE TOP OF SLOPE AT END OF EACH DAY. PROVIDE TEMPORARY SLOPE DRAINS AS SHOWN. DIVERT RUNOFF TO SLOPE DRAINS AS FILL PROGRESSES. EXTEND SLOPE DRAINS & CONTINUE TO PROVIDE BERM AT TOP OF SLOPE.
 7. RELOCATE UTILITIES AS NECESSARY AND IN COORDINATION WITH AFFECTED UTILITY COMPANY.
 8. CONSTRUCT BUILDING PAD & CONSTRUCT RETAINING WALLS.
 9. TEMPORARILY SEED AREAS, AS REQUIRED.
 10. INSTALL STORM DRAINAGE INLET PROTECTION IS TO BE PROVIDED ONCE STRUCTURE IS INSTALLED. INLET PROTECTION SHALL BE PROVIDED AT ANY OPEN PIPE END.
 11. INSTALL UTILITIES.
 12. PREPARE SITE FOR PAVING.
 13. PAVE SITE.
 14. REINSTALL INLET PROTECTION AFTER PAVING IF DISTURBED AREA STILL DRAINS TO STRUCTURE.
 15. COMPLETE FINAL GRADING.
 16. PERFORM LANDSCAPE INSTALLATION & SEED/SOD AS NOTED.
 17. REMOVE ALL TEMPORARY EROSION & SEDIMENT CONTROLS ONCE SITE IS STABILIZED.
 18. CLEAN UP SITE.

REVISIONS

NO.	DESCRIPTION	DATE	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 Fax: 864-233-5497
 NC LICENSE NO. C-1532



**PROPOSED RETAIL
MORGANTOWN, WV**
 FECH REALTY, LLC
 3280 UNIVERSITY AVENUE
 SUITE 1
 MORGANTOWN, WV 26505
 (304)-599-4929

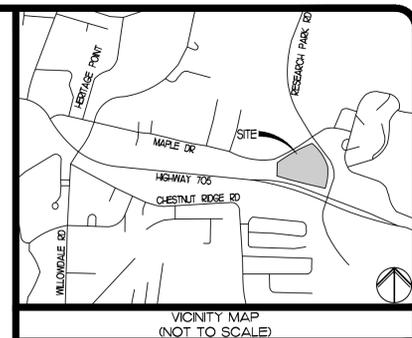
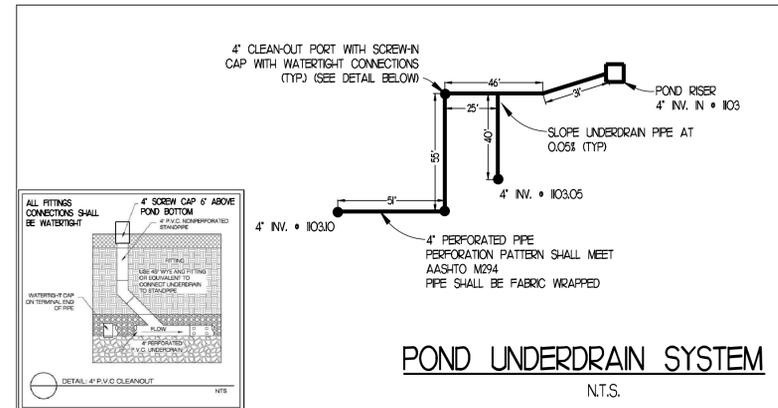
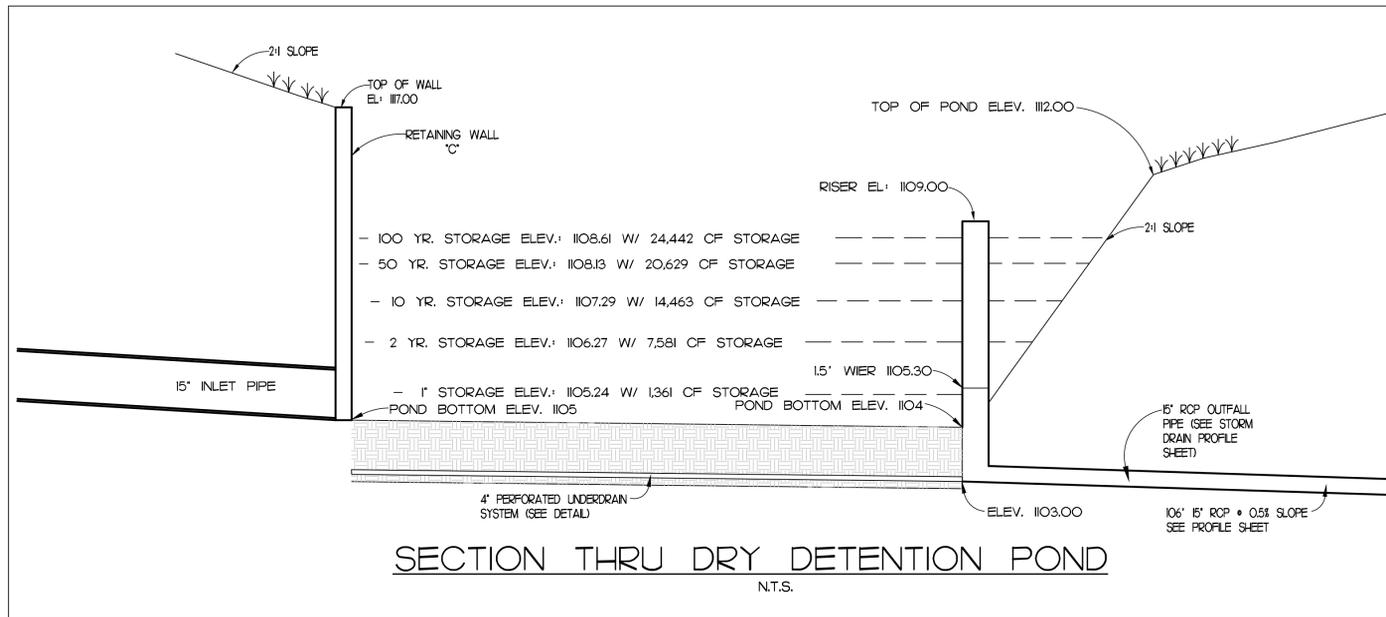
DRAWN: LRS
 CHECKED: BTS
 DATE: 11/6/2015
 SCALE:

DRAWING: 3

SWPP PHASE 2

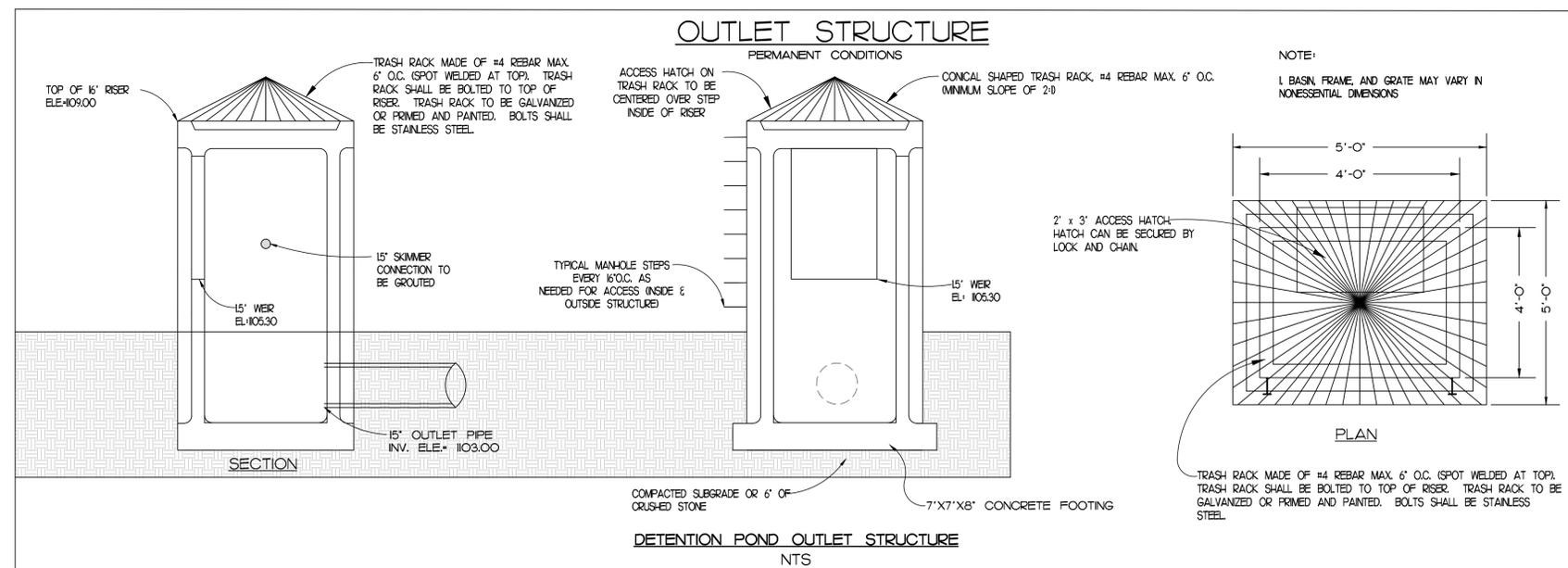
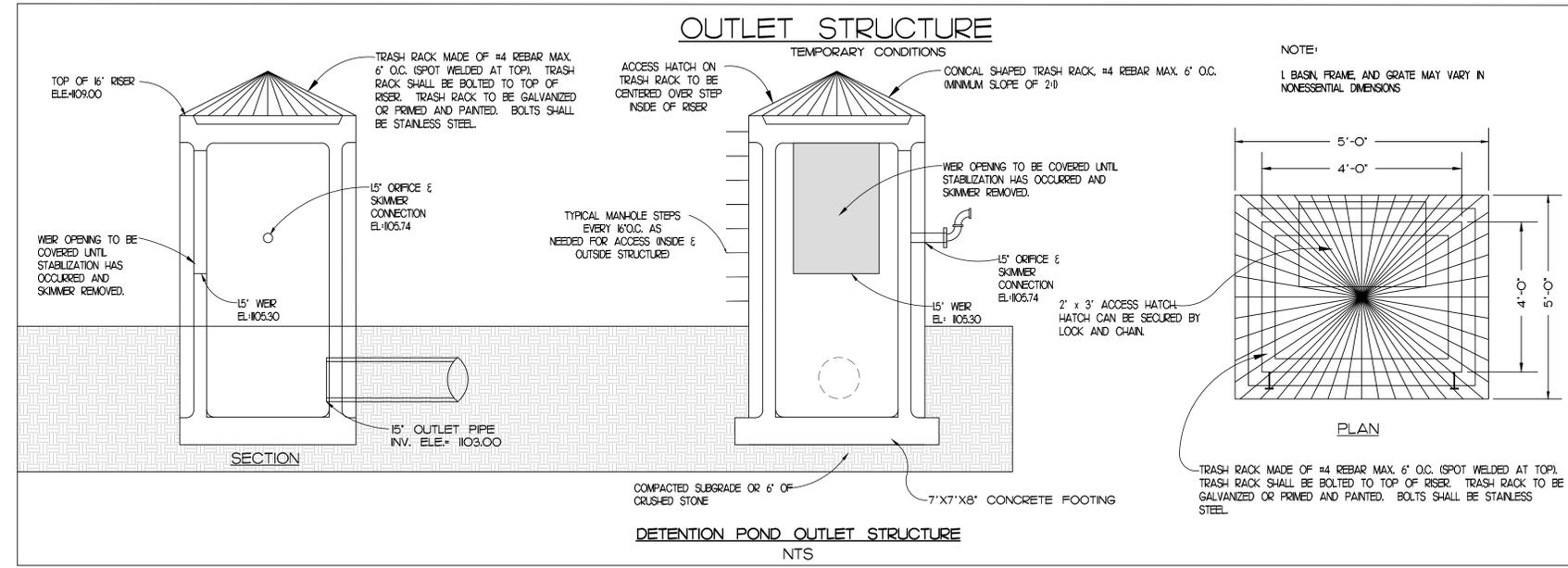
SCALE 1" = 30'





SHEET 3

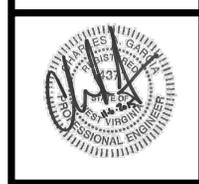
PROPOSED SITE CONDITIONS



POND RISER SECTIONS

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497
 fax 864-233-6916
 NC LICENSE NO. C-1532



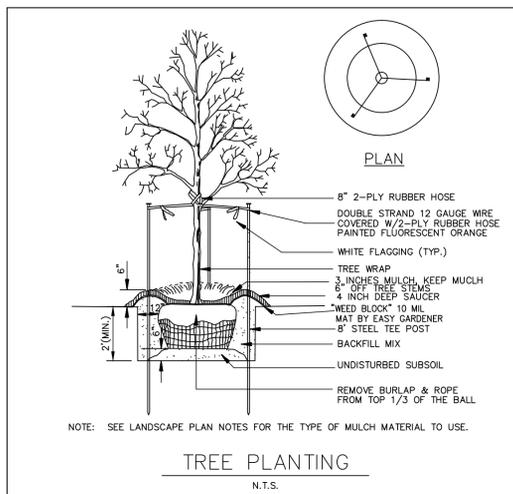
PROPOSED RETAIL MORGANTOWN, WV
 FECH REALTY, LLC
 3280 UNIVERSITY AVENUE SUITE 1
 MORGANTOWN, WV 26505
 (304)-599-4929



DRAWN	LRS
CHECKED	BTS
DATE	11/6/2015
SCALE	
DRAWING	18

LANDSCAPE NOTES:

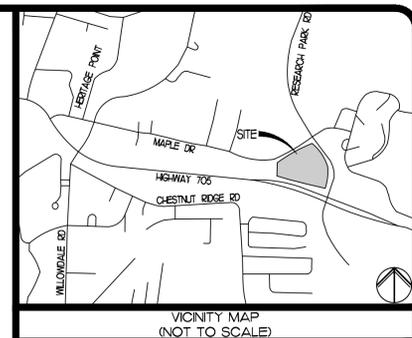
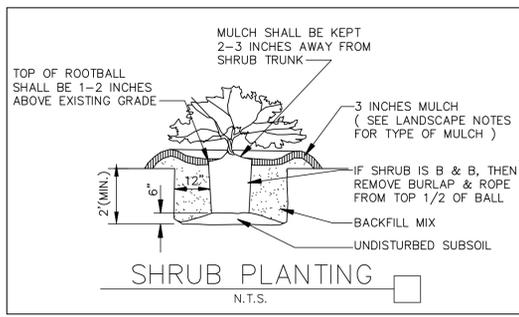
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED & BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUIDED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC) ALL PLANTING AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
9. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
10. THE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
11. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
12. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLORIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
13. STANDARDS SET FORTH IN THE 'AMERICAN STANDARD FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. ALL PLANT BEDS, TREES, SHRUB MASSES, ETC. ARE TO BE COMPLETELY COVERED WITH SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES. THIS INCLUDES A 4" DIAMETER MULCH RING AROUND ALL PROPOSED TREES.
15. LOCATIONS OF EXISTING BULBED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITY LINES IN AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
16. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
17. DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
18. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
19. ALL SEEDED AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND SEEDED WITH SPECIFIED SEED MIXES. (SEE LANDSCAPE PLAN FOR APPROXIMATE LOCATION & TYPE OF SEED MIXES & SEE EROSION CONTROL SHEETS FOR PERMANENT SEEDING CHARTS & SEED MIX DETAILS). THE CONTRACTOR SHALL WATER AND MAINTAIN ALL GRASS AREAS UNTIL A HEALTHY STAND IS ESTABLISHED.
20. ALL PLANTING AREAS, INCLUDING PARKING LOT ISLANDS, SHALL CONTAIN SOILS SUITABLE FOR PLANTING. SOILS SHALL BE CLEAN AND FREE OF ALL CONSTRUCTION MATERIALS. THE TOP TWO FEET OF SOIL SHALL BE LOOSE & PREVIOUSLY COMPACTED. IT SHALL BE LOOSENEED BY TILLING OR OTHER MEASURE TO A DEPTH OF TWO FEET. THE TOP SIX INCHES OF SOIL SHALL BE CLEAN TOPSOIL OR OTHER CLEAN SOILS AMENDED WITH ORGANIC MATERIAL. THIS REQUIREMENT SHALL BE MET PRIOR TO THE INSTALLATION OF LANDSCAPING.
21. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND PROPOSED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED.
22. REFER TO SITEMARK SPECIFICATIONS FOR ALL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.



LANDSCAPE CALCULATIONS:

INTERIOR PARKING LOT LANDSCAPING - ISLANDS
REQUIRED:
 ALL ROWS OF PARKING SHALL PROVIDE TERMINAL LANDSCAPE ISLANDS (MIN. 100 SF) EVERY 5 SPACES WITHIN A ROW. PLANTING ISLANDS EVENLY SPACED THROUGHOUT PARKING LOT TO CONSISTENTLY SHADE PAVED AREAS.
PROVIDED:
 TERMINAL LANDSCAPE ISLANDS AT END OF PARKING ROWS PLANTED W/ TREES.
 PLANTING ISLANDS EVENLY SPACED THROUGHOUT PARKING LOT PLANTED W/ TREES.

INTERIOR PARKING LOT LANDSCAPING
REQUIRED:
 5% INTERIOR PARKING LOT LANDSCAPING
 26167 SF. 054308 SF.
PROVIDED:
 2009 SF. 070 INTERIOR PARKING LOT LANDSCAPING



REVISIONS	BY

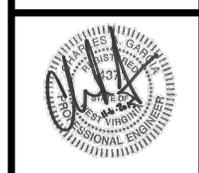
SHEET 4
PRELIM LANDSCAPE
PRELIM SITE LIGHTING

ALWAYS CALL BEFORE YOU DIG

EVERY DIGGING JOB REQUIRES A CALL - EVEN SMALL PROJECTS LIKE PLANTING TREES OR SHRUBS. IF YOU HIT AN UNDERGROUND UTILITY ON YOUR OWN PROPERTY, YOU CAN BE RESPONSIBLE FOR THE DAMAGE AND POTENTIALLY BE RESPONSIBLE FOR FINES AND REPAIR COSTS.

SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, ONE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497
 fax 864-233-6916
 NC LICENSE NO. C-1532



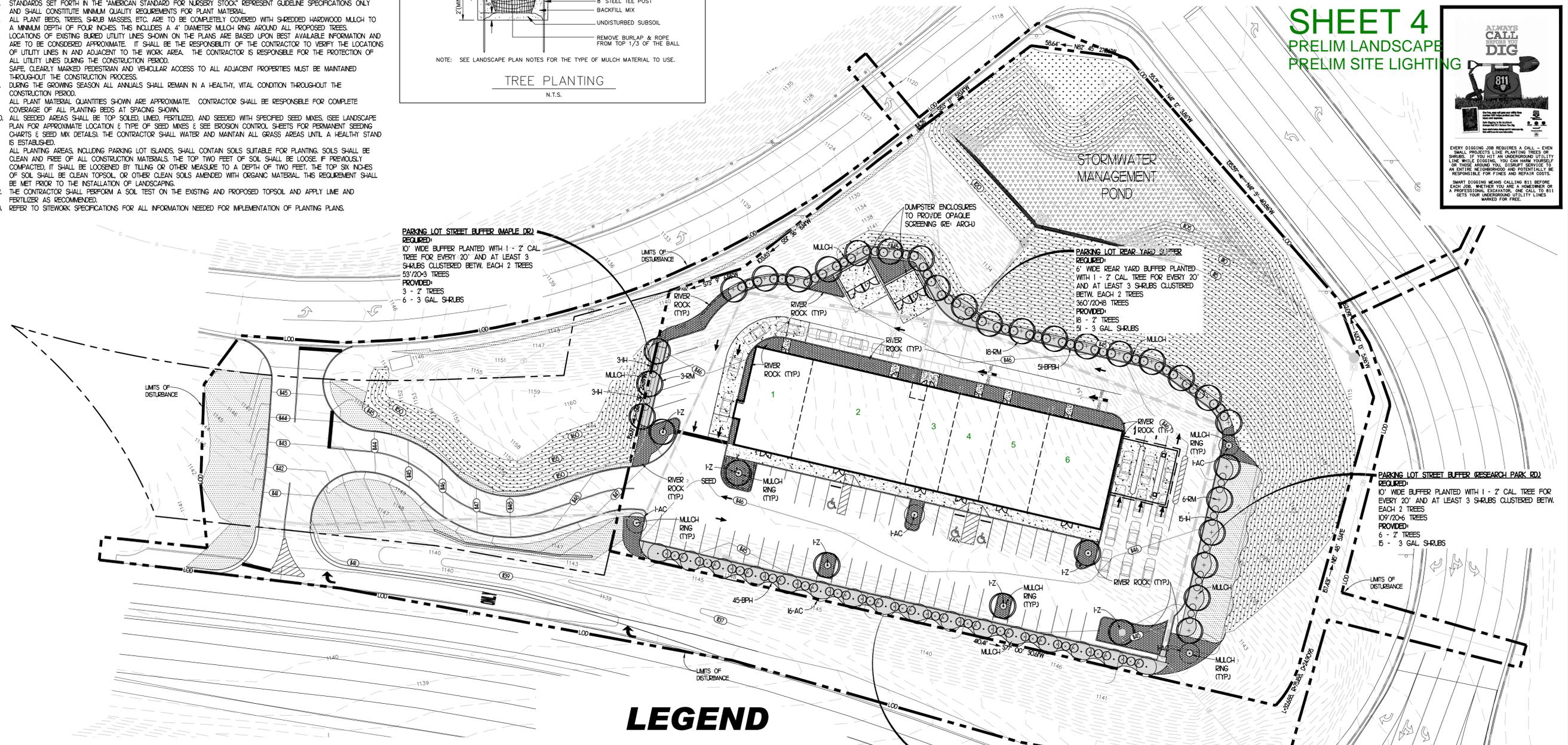
PROPOSED RETAIL
MORGANTOWN, WV
 FECH REALTY, LLC
 3280 UNIVERSITY AVENUE
 SUITE 1
 MORGANTOWN, WV 26505
 (304)-599-4929

LANDSCAPE PLAN

DRAWN
 LRS
 CHECKED
 BTS
 DATE
 11/6/2015
 SCALE

DRAWING

20

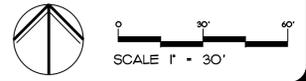


LEGEND

- MULCH
- RIVER ROCK
- SEED MIX 'D' FROM PERMANENT SEEDING CHART (SEE EROSION CONTROL SHEETS)
- SEED MIX 'B' FROM PERMANENT SEEDING CHART (EROSION CONTROL MATTING TO BE PROVIDED ON SLOPES 3:1 & STEEPER) (SEE EROSION CONTROL DRAWING SHEETS)
- STORMWATER MANAGEMENT SEED MIX (EROSION CONTROL MATTING TO BE PROVIDED ON SLOPES 3:1 & STEEPER) (SEE EROSION CONTROL DRAWING SHEETS)

PLANTING SCHEDULE

QUANTITY	CODE	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE REQUIREMENTS	REMARKS
27	RM	+	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2" CAL. (MIN) 12" MIN. HEIGHT 4" MIN. SPREAD	BALL & BURLAP SPACED 20' O.C.
6	Z	•	GREEN VASE JAPANESE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL. (MIN) 12" MIN. HEIGHT 3" MIN. SPREAD	BALL & BURLAP SPACED 20' O.C.
20	AC	•	AUTUMNALIS CHERRY	PRUNUS SUB-ROSTRATA 'AUTUMNALIS'	2" CAL. (MIN) 10" MIN. HEIGHT 4" MIN. SPREAD	BALL & BURLAP SPACED 20' O.C.
45	BPH	○	BLUE PRINCESS HOLLY	ILEX X MESSERVAE 'BLUE PRINCESS'	24" MIN. HEIGHT FULL MIN. 3-GALLON	SPACED 5' O.C.
51	BPHH	○	BLUE PRINCE HOLLY	ILEX X MESSERVAE 'BLUE PRINCE' (MALE POLLINIZER)	24" MIN. HEIGHT FULL MIN. 3-GALLON	SPACED 5' O.C.
21	H	○	SHAMROCK INEBERRY HOLLY	ILEX GLABRA 'SHAMROCK'	24" MIN. HEIGHT FULL MIN. 3-GALLON	SPACED 4' O.C.



SHEET 4

PRELIM LANDSCAPE

PRELIM SITE LIGHTING



MILLS GROUP
 ARCHITECTURE ■ PLANNING ■ PRESERVATION
 83 WINDY STREET, SUITE 300 53 LATH STREET, SUITE 607
 MORGANTOWN, WV 26501 WHEELING, WV 26003
 PH. 304.296.1010 WWW.MILLSGROUPONLINE.COM PH. 304.233.0048



Allegheny Design Services
 Consulting Engineers
 102 Leeway Street
 Morgantown, WV 26505
 Phone: 304.599.0771

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT:
RESEARCH PARK SHOPPES
 Morgantown WV
 FECH REALTY

SITE LIGHTING PLAN

Drawing Set Number

Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:

REVIEW	Conceptual
	Review
	Permitting
	Bidding
	Construction Documents

NOT FOR CONSTRUCTION

Project number	14184
Date	11-06-2015
Drawn by	DAS
Checked by	GMC

E900

Scale As indicated
 SCALE REFERS TO 22" X 34" PAPER SIZE

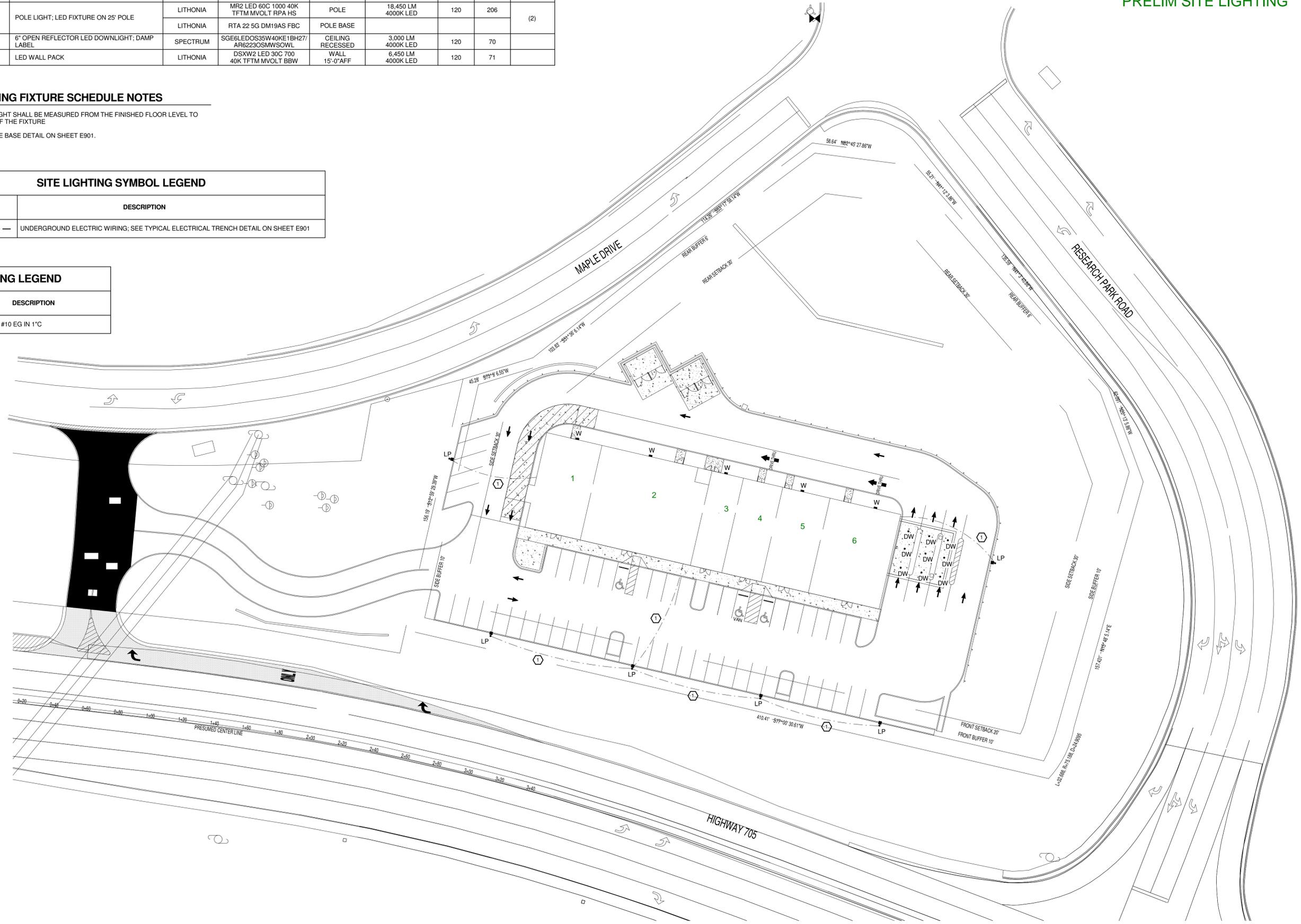
SITE LIGHTING FIXTURE SCHEDULE									
SYMBOL	TYPE	DESCRIPTION	MFR.	CATALOG NO.	MOUNTING (1)	LAMPS	VOLTS	WATTS	NOTES
●	LP	POLE LIGHT; LED FIXTURE ON 25' POLE	LITHONIA	MR2 LED 60C 1000 40K TFTM MVOLT RPA HS	POLE	18,450 LM 4000K LED	120	206	(2)
			LITHONIA	RTA 22 5G DM19AS FBC	POLE BASE				
●	DW	6" OPEN REFLECTOR LED DOWNLIGHT; DAMP LABEL	SPECTRUM	SGE6LEDOS35W40K15BH27/AF62230SNW/SOWL	CEILING RECESSED	3,000 LM 4000K LED	120	70	
■	W	LED WALL PACK	LITHONIA	DSXW2 LED 30C 700 40K TFTM MVOLT BBW	WALL 15'-0" AFF	6,450 LM 4000K LED	120	71	

SITE LIGHTING FIXTURE SCHEDULE NOTES

1. MOUNTING HEIGHT SHALL BE MEASURED FROM THE FINISHED FLOOR LEVEL TO THE BOTTOM OF THE FIXTURE
2. SEE LIGHT POLE BASE DETAIL ON SHEET E901.

SITE LIGHTING SYMBOL LEGEND	
SYMBOL	DESCRIPTION
---	UNDERGROUND ELECTRIC WIRING; SEE TYPICAL ELECTRICAL TRENCH DETAIL ON SHEET E901

WIRING LEGEND	
MARK	DESCRIPTION
①	(2) #10, (1) #10 EG IN 1" C



1 SITE LIGHTING PLAN
 1" = 30'-0"

11/6/2015 1:25:36 PM

SHEET 4

PRELIM LANDSCAPE

PRELIM SITE LIGHTING



PRELIMINARY NOT FOR CONSTRUCTION

PROJECT:
RESEARCH PARK SHOPPES
 Morgantown WV
FECH REALTY
SITE PHOTOMETRIC PLAN

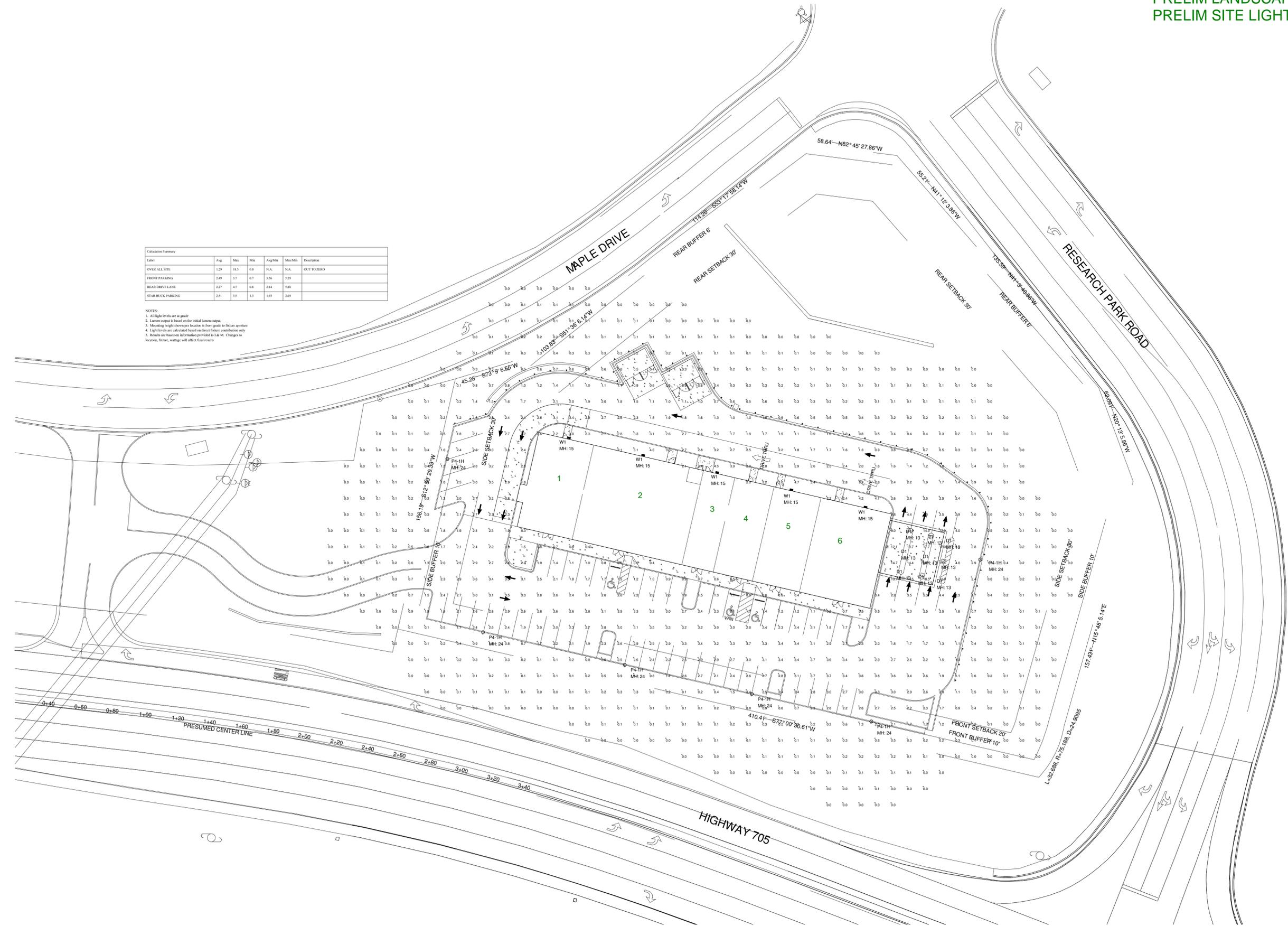
Drawing Set Number

Revision Schedule		
No.	Revision Description	Date

REVIEW	INTENDED DRAWING USE:
	Conceptual
	Review
	Permitting
	Bidding
NOT FOR CONSTRUCTION	Construction Documents

Project number	14184
Date	11-06-2015
Drawn by	DAS
Checked by	GMC

E902
 Scale 1" = 30'-0"
 SCALE REFERS TO 22" X 34" PAPER SIZE



Calculation Summary						
Label	Avg	Min	Max	Avg/Min	Max/Min	Description
OVER ALL SITE	1.29	0.5	0.8	N/A	N/A	OUT TO ZERO
FRONT PARKING	2.69	3.7	0.7	3.56	5.29	
REAR DRIVE LANE	2.27	4.7	0.8	2.84	5.88	
REAR BUFFER	2.51	3.5	1.3	1.93	2.69	

- NOTES:
- All light levels are at grade.
 - Lumen output is based on the initial lumen output.
 - Mounting height shown per location is from grade to fixture aperture.
 - Light levels are calculated based on direct fixture contribution only.
 - Results are based on information provided as I.A.M. Changes to location, fixture, wattage will affect final results.

1 SITE PHOTOMETRIC PLAN
 1" = 30'-0"

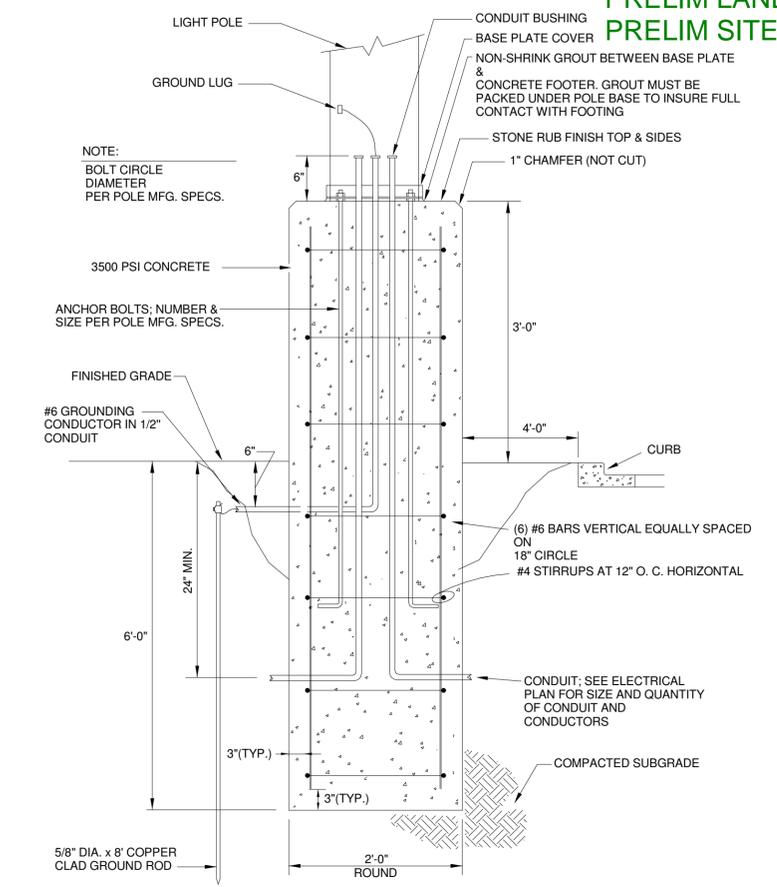
SHEET 4

PRELIM LANDSCAPE

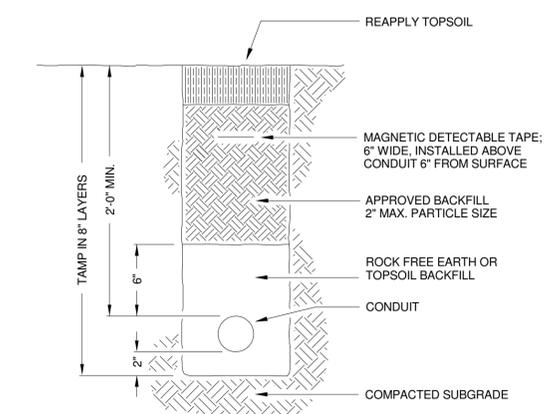
PRELIM SITE LIGHTING

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT:
RESEARCH PARK SHOPPES
 Morgantown WV
 FECH REALTY
SITE LIGHTING DETAILS



1 LIGHT POLE BASE DETAIL
 No Scale



2 TYPICAL TRENCH DETAIL
 No Scale

Drawing Set Number

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

REVIEW	Conceptual
	Review
	Permitting
	Bidding
	Construction Documents

NOT FOR CONSTRUCTION

Project number	14184
Date	11-06-2015
Drawn by	DAS
Checked by	GMC

E901

Scale 1/8" = 1'-0"
 SCALE REFERS TO 22" X 34" PAPER SIZE

D-Series Size 2 LED Wall Luminaire



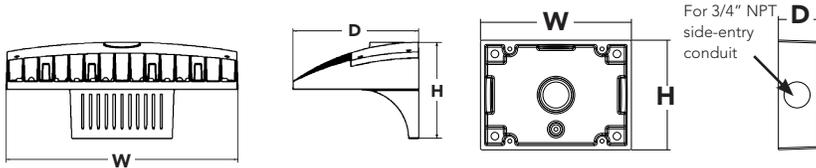
d^{series}

Specifications Luminaire

Width:	18-1/2" (47.0 cm)	Weight:	21 lbs (9.5 kg)
Depth:	10" (25.4 cm)		
Height:	7-5/8" (19.4 cm)		

Back Box (BBW)

Width:	5-1/2" (14.0 cm)	BBW Weight:	1 lbs (0.5 kg)
Depth:	1-1/2" (3.8 cm)		
Height:	4" (10.2 cm)		



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 76% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

SHEET 4
PRELIM LANDSCAPE
PRELIM SITE LIGHTING

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED	Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)																		
DSXW2 LED	30C 30 LEDs (three engines)	30 LEDs (three engines)	350 350 mA	30K 3000 K	T2S Type II	MVOLT ¹	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁴	Shipped installed SF Single fuse (120, 277, 347V) ⁷	DDBXD Dark bronze																		
			530 530 mA	40K 4000 K	Short	120 ¹																						
			700 700 mA	50K 5000 K	T2M Type II Medium	208 ¹					Shipped separately ³ BBW Surface-mounted back box (for conduit entry)	Shipped installed PER NEMA twist-lock receptacle only (no controls)	DF Double fuse (208, 240, 480V) ⁷	DBLXD Black														
			1000 1000 mA (1A)	AMBPC Amber phosphor converted	T3S Type III Short	240 ¹									DMG 0-10V dimming driver (no controls)	HS House-side shield ³	DNAXD Natural aluminum											
					T3M Type III Medium	277 ¹												DCR Dimmable and controllable via ROAM [®] (no controls) ⁵	SPD Separate surge protection ⁸	DWHXD White								
					T4M Type IV Medium	347 ²															PIRH 180° motion/ambient light sensor, 15-30' mtg ht ⁶	Shipped separately ³ BSW Bird-deterrent spikes	DSSXD Sandstone					
					TFTM Forward Throw Medium	480 ²																		WG Wire guard	Vandal guard	DDBTXD Textured dark bronze		
					ASYDF Asym-metric diffuse																						VG Vandal guard	DSSTXD Textured sandstone

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240 or 277 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347V, 480V or PIRH. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net.
- Specifies the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell) or DCR. Dimming driver standard.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ⁹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ⁹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ⁹
SCU	Shorting cap ³
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
20C (20 LEDs)	530	36 W	T2S	3,649	1	0	1	101	3,876	1	0	1	108	3,429	1	0	1	95	
			T2M	3,478	1	0	1	97	3,694	1	0	1	103	3,267	1	0	1	91	
			T3S	3,609	1	0	1	100	3,833	1	0	1	106	3,390	1	0	1	94	
			T3M	3,572	1	0	1	99	3,794	1	0	1	105	3,356	1	0	1	93	
			T4M	3,500	1	0	2	97	3,717	1	0	2	103	3,288	1	0	2	91	
			TFTM	3,638	1	0	1	101	3,864	1	0	1	107	3,418	1	0	1	95	
			ASYDF	3,252	1	0	2	90	3,454	1	0	2	96	3,056	1	0	2	85	
	700	47 W	T2S	4,502	1	0	1	96	4,776	1	0	1	102	4,794	1	0	1	102	
			T2M	4,290	1	0	1	91	4,552	1	0	1	97	4,569	1	0	1	97	
			T3S	4,452	1	0	1	95	4,723	1	0	2	100	4,741	1	0	2	100	
			T3M	4,407	1	0	2	94	4,675	1	0	2	99	4,693	1	0	2	100	
			T4M	4,318	1	0	2	92	4,581	1	0	2	97	4,598	1	0	2	98	
			TFTM	4,488	1	0	2	95	4,761	1	0	2	101	4,779	1	0	2	102	
			ASYDF	4,012	1	0	2	85	4,257	1	0	2	91	4,273	1	0	2	91	
	1000	74 W	T2S	5,963	2	0	2	81	6,327	1	0	1	84	6,351	1	0	1	85	
			T2M	5,683	2	0	2	77	6,029	1	0	2	80	6,052	1	0	2	81	
			T3S	5,896	1	0	2	80	6,256	1	0	2	83	6,280	1	0	2	84	
			T3M	5,837	2	0	3	79	6,193	1	0	2	83	6,216	1	0	2	83	
			T4M	5,719	1	0	2	77	6,067	1	0	2	81	6,090	1	0	2	81	
			TFTM	5,944	1	0	2	80	6,307	1	0	2	84	6,330	1	0	2	84	
			ASYDF	5,314	1	0	2	72	5,638	2	0	2	75	5,660	2	0	2	75	
	30C (30 LEDs)	530	54 W	T2S	4,333	1	0	1	80	5,280	1	0	1	98	5,769	1	0	1	107
				T2M	4,216	1	0	1	78	5,137	1	0	2	95	5,613	1	0	2	104
				T3S	4,279	1	0	1	79	5,214	1	0	1	97	5,696	1	0	1	105
T3M				4,349	1	0	2	81	5,298	1	0	2	98	5,789	1	0	2	107	
T4M				4,291	1	0	1	79	5,228	1	0	2	97	5,712	1	0	2	106	
TFTM				4,287	1	0	1	79	5,223	1	0	2	97	5,707	1	0	2	106	
ASYDF				5,346	1	0	1	75	6,513	1	0	1	92	7,118	2	0	2	100	
700		71 W	T2S	5,201	1	0	2	73	6,337	2	0	2	89	6,925	2	0	2	98	
			T3S	5,279	1	0	1	74	6,431	1	0	2	91	7,028	1	0	2	99	
			T3M	5,365	1	0	2	76	6,536	1	0	2	92	7,143	2	0	3	101	
			T4M	5,293	1	0	2	75	6,449	1	0	2	91	7,047	1	0	2	99	
			TFTM	5,289	1	0	2	74	6,444	1	0	2	91	7,042	1	0	2	99	
			ASYDF	7,137	2	0	2	65	8,697	2	0	2	80	9,501	2	0	2	87	
			1000	109 W	T2S	6,944	2	0	2	64	8,462	2	0	2	78	9,244	2	0	2
T3S	7,047	1			0	2	65	8,588	1	0	2	79	9,381	2	0	2	86		
T3M	7,162	2			0	3	66	8,728	2	0	3	80	9,534	2	0	3	87		
T4M	7,066	1			0	2	65	8,611	1	0	2	79	9,407	2	0	2	86		
TFTM	7,060	1			0	2	65	8,604	2	0	2	79	9,399	2	0	2	86		

SHEET 4
PRELIM LANDSCAPE
PRELIM SITE LIGHTING

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	73 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

SHEET 4

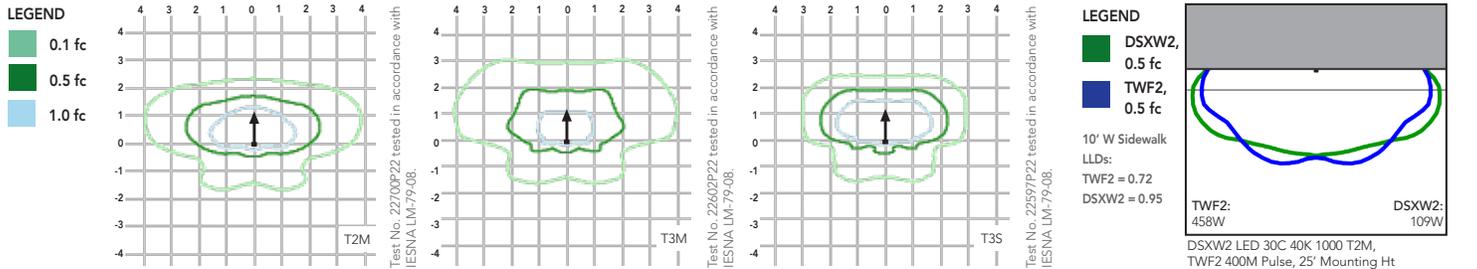
PRELIM LANDSCAPE

PRELIM SITE LIGHTING

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 2 homepage.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (80 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



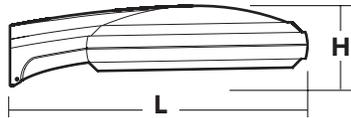


MR2 LED LED Area Luminaire



Specifications

EPA:	0.9 ft ² (0.08 m ²)
Length:	32-7/8" (83.5 cm)
Width:	25" (63.5 cm)
Height:	8-1/4" (21.0 cm)
Weight (max):	42 lbs (19.1 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The Omero™ family of luminaires blends a traditional round dome form with contemporary, low-profile styling to accent architectural elements in a variety of applications.

SHEET 4 PRELIM LANDSCAPE PRELIM SITE LIGHTING

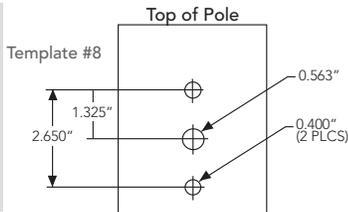
The MR2 LED combines the latest in LED technology with the designer aesthetics of the Omero™ family for stylish, high-performance illumination that lasts. The MR2 LED is ideal for replacing 250-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: MR2 LED 60C 1000 40K T5M MVOLT SPA DDBXD

MR2 LED	60C								
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (required)	
MR2 LED	60C 60 LEDs	700 700 mA 1000 1000 mA	40K 4000 K 50K 5000 K	T2M Type II T3M Type III T4M Type IV T5M Type V TFTM Forward throw	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket Shipped Separately ² SPUMBA Square pole universal mounting adaptor ³ RPUMBA Round pole universal mounting adaptor ³ KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁴	Shipped installed PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) ⁵ DMG 0-10V dimming driver (no controls) HS House-side shield ² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ DS Dual switching ^{7,8} BL30 Bi-level switched dimming, nominal 30% ^{8,9} BL50 Bi-level switched dimming, nominal 50% ^{8,9} Shipped separately ² VG Vandal guard	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	

Drilling



Accessories

Ordered and shipped separately.	DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁰
	DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁰
	DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁰
	SCU	Shorting cap ¹⁰
	MR2LEDHS U	House-side shield (includes 2 shields)
	MR2VG U	Vandal guard accessory
	KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴
	RPUMBA DDBXD U*	Round and square pole universal mounting bracket adaptor (specify finish)

For more control options, visit DTL and ROAM online.

Omero™ shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.

**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as a separate accessory; see Accessories information at left.
- 1.5 G vibration load rating per ANCI C136.31.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745 or email: sales@roamservices.net. N/A with BL30, BL50, or DS.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER or DCR.
- Requires an additional switched line.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000 K, 70 minimum CRI)					50K (5000 K, 67 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
					60C (60 LEDs)	700 mA	60C 700 --K	132W	T2M	12,870	2	0	2	98
T3M	13,630	2	0	3					103	14,770	3	0	3	112
T4M	13,543	2	0	3					103	14,675	2	0	3	111
T5M	13,690	4	0	2					104	14,834	4	0	2	112
TFTM	13,791	2	0	3					104	14,944	2	0	3	113
1000 mA	60C 1000 --K	206W	T2M	17,217		3	0	3	84	18,560	3	0	3	90
			T3M	18,234		3	0	3	89	19,656	3	0	4	95
			T4M	18,118		3	0	4	88	19,531	3	0	4	95
			T5M	18,314		5	0	3	89	19,742	5	0	3	96
			TFTM	18,450		3	0	3	90	19,889	3	0	4	97

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the MR2 LED 60C platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.82

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
60C	700	132W	1.321	0.756	0.659	0.580	0.462	0.337
	1000	206W	2.068	1.198	1.056	0.943	0.764	0.605

SHEET 4

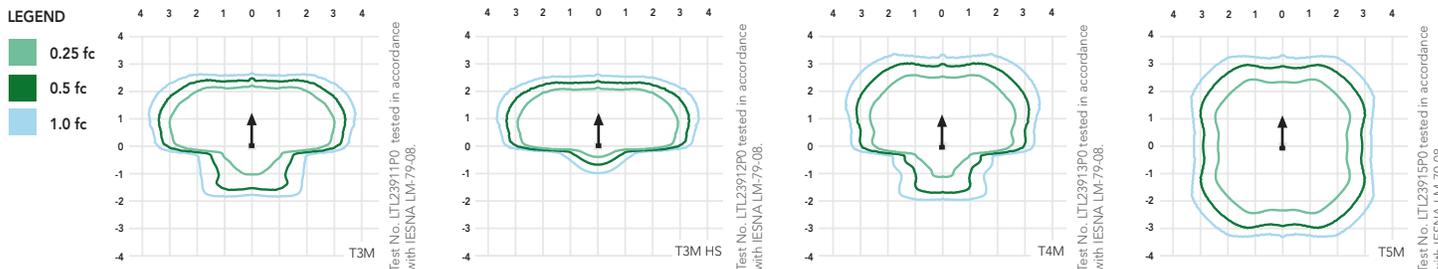
PRELIM LANDSCAPE

PRELIM SITE LIGHTING

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [MR2 LED homepage](#).

Isofootcandle plots for the MR2 LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

Highly efficient and long-lasting, the MR2 LED is ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A perforated housing prevents debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants. Low EPA (0.9 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000 K (67 CRI) or optional 5000 K (67 CRI) configurations. The MR2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver

designed to provide a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 2.0 G vibration load rating per ANSI C136.31. The MR2 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. **U.S. Patent No. D556,357.**

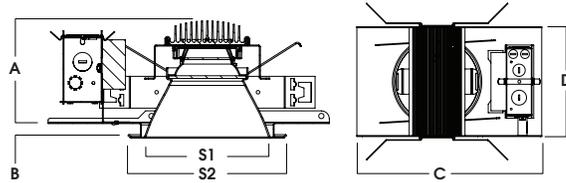
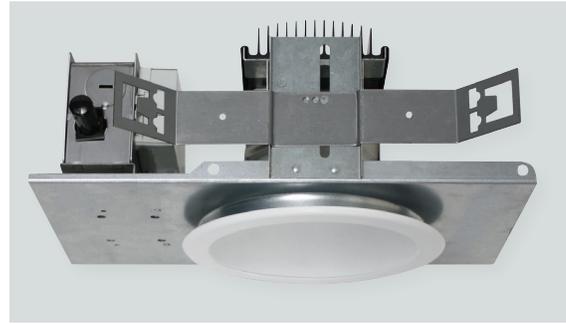
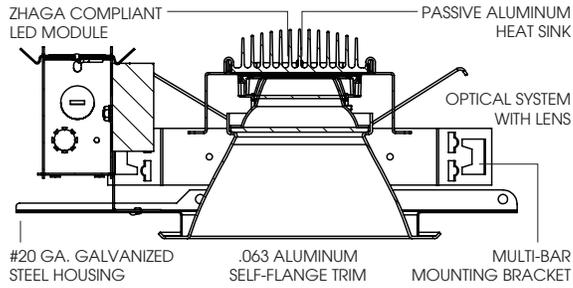
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





A	B	C	D	TRIM	S1	S2
4.97 126.2 mm	0.625 15.87 mm	13.3 337.8 mm	7.9 200.7 mm	AR6223	5.8 147.3 mm	7.5 190.5 mm

6" ROUND LED DOWNLIGHT

OS SERIES / 3000 LUMENS MAX



SGE6LEDOS

APPLICATION

6" LED recessed open aperture downlight for general downlighting.

FEATURES

Two-stage optical system for smooth light distribution. Zhaga LED module for ease of maintenance and replacement. Shadow plenum design. recessed LED module, driver, and J-box access. Multi-Bar mounting brackets. BH27 Standard mounting bars included. Post-lock trim retention. torsion springs. integral 0.625" collar with Deep Ceiling Extension (P2).

TRIM FINISH

A variety of architectural powder coat and anodized finishes are available. Matte white self-flange is standard.

ELECTRONICS

LED module features high brightness white Osram LEDs. 3-step MacAdam Ellipses binning and CRI 84 minimum. Variety of electronic 120v/277v and dimming drivers.

CONSTRUCTION

Housing/frame constructed of #20 ga. galvanized steel to resist corrosion. Self-flanged one piece trim spun from 0.063" thick high purity aluminum and finished to specification. Passive machined aluminum heatsink.

CODE COMPLIANCE

Energy Star certified¹. ARRA Compliant. Non-IC rated. ETL listed for damp locations. LM79/LM80/TM21 data available. Optional Wet location. Manufactured and tested to UL standards No. 1598/8750.

PART NUMBER	SOURCE LUMENS ²	DELIVERED LUMENS ³	SYSTEM WATTS	LPW
SGE6LEDOS 9W	800	575	8.8	65
SGE6LEDOS 14W	1100	1027	16.0	64
SGE6LEDOS 25W	2000	1676	25.1	67
SGE6LEDOS 35W	3000	2513	35.9	70

RECESSED HOUSING SPECIFICATION						TRIM SPECIFICATION		
SERIES	LED ²	CCT	DRIVER / VOLTAGE ⁴	OPTIONS ⁵		TRIM / FINISH ⁷		TRIM OPTIONS
SGE6LEDOS	09W	800 Lm	27K 2700° K	E Electronic Driver	1 120v 2 277v	AR6223OS	SG⁸ Semi-Diffuse	SO¹⁰ Micro Prism Solite™ Lens
	14W	1100 Lm	30K 3000° K	DE10_ .01% 0-10V Dimming			HZ Haze Full Diffuse	GL Clear Glass Lens
	25W	2000 Lm	35K 3500° K	DO10_ 1% 0-10V Dimming	DS10_ 10% 0-10V Dimming		MB Matte Black	FG Frosted Glass Lens
	35W	3000 Lm	40K 4000° K	DS2W1 ELV MLV 1% Phase Dimming, 120v Only	H06 Expandable Bar Hangers, 6" - 12"		AC Anodic Champagne	BLU Blue Lens
				DLTE1 Lutron ELV/MLV 1% Phase Dimming, 120v Only	CB24 C-Channel Bars for Grid Ceiling		AS Anodic Sapphire	GS Gasket
			DL33_ Lutron Hi Lume 1% Dimming	EM Emergency Battery Pack	PT Platinum Silver	WL Wet Location		
			DL3E_ Lutron ECO System 1% Dimming	FS Fusing	OB Oil Rubbed Bronze			
			LDE1_ Lutron ECO System 1% Fade to Black Dimming	EB Black Housing	CH Charcoal			
			LDE5_ Lutron ECO System 5% Dimming	CR Corrosion Resistant	AS Anodic Sapphire			
			DALI_ DALI Control Dimming	PR Deep Ceiling Extension	AM Anodic Malachite			
			DMX_ DMX Control Dimming	GR Goof Ring	SN Sun Gold			
					CO Copper Metallic			
					GH Graphite			
					CC Custom Color			
					PF⁹ Polished Flange			

EXAMPLE: SGE6LEDOS25W35KE1/AR6223OSSGSO

NOTES:
 1 See Energy Star Website for Up To Date Product List 2 Nominal Source Lumens at 4000°K 3 Nominal Delivered Lumens at 4000°K with SG SO
 4 Contact Factory for Additional Options 5 See Product Options Page for Details 6 Standard Bar Hangers 7 Contact Factory for Special Colors
 8 Standard Finish 9 Flange and Reflector Same Finish 10 Standard Lens

Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.



PROJECT:	TYPE:
CAT. NO.:	

WWW.SPECLIGHT.COM • 994 JEFFERSON STREET, FALL RIVER, MA 02721 • 508.678.2303 FAX 508.678.2260



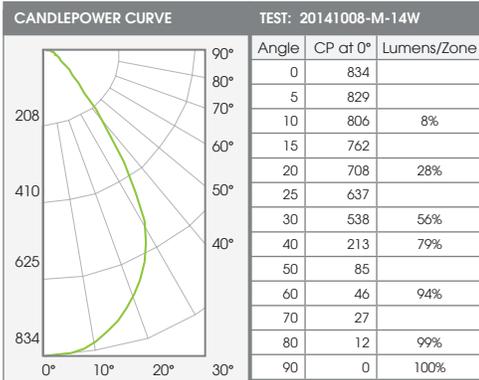
6" ROUND LED DOWNLIGHT

recessed fixtures

PHOTOMETRY



SGE6LEDOS14W35KE1-AR6223OSMWSO



Delivered Lumens: 1033
Luminaire Watts: 14.4
LER: 72

CP @ 0° (Nadir): 834
Beam Angle: 67°
Spacing Ratio: 1.04

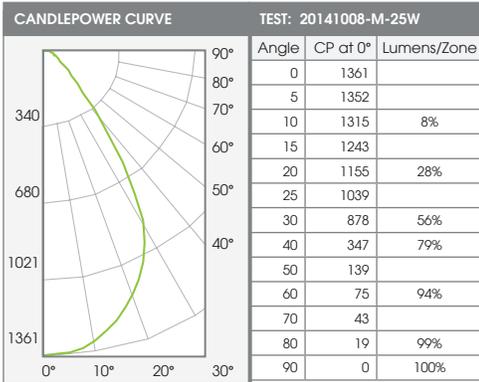
SINGLE UNIT: PERFORMANCE INITIAL FOOTCANDLES AND BEAM ANGLE DIAMETERS				MULTIPLE UNITS: PERFORMANCE 80/50/20% REFLECTANCES INITIAL FOOTCANDLES AND WATTS PER SQUARE FOOT			
Mounting Height*	FC at Center	Diameter of Beam**	FC at Beam**	Ceiling Height	Fixture Spacing	RCR 2: Large Room FC* W/Sq. Ft.	RCR 4: Medium Room FC* W/Sq. Ft.
5.5'	28	7.3'	10	8'	4'	54	0.90
6.5'	20	8.6'	7	8'	5'	40	0.68
7.5'	15	9.9'	5	9'	5'	38	0.64
8.0'	13	10.6'	5	9'	6'	30	0.51
8.5'	12	11.3'	4	10'	5'	25	0.46
9.0'	10	11.9'	4	10'	6'	24	0.40
9.0'	8	13.2'	3	11'	6'	23	0.38
11.0'	7	14.6'	2	11'	7'	18	0.27

* From aperture to horizontal surface below.
** At IESNA defined Beam Angle, to 50% Max. CP.

Delivered Illuminance Rating: (DIR) 71 FC per W/Sq. Ft. 60 FC per W/Sq. Ft.
*Average Footcandles at 2.5' above floor.

CCT: 3500° K CRI: 84 CCT Output Factors: 40K 103%, 30K 95%, 27K 89% Multiplier for FC Values at 9W: 0.56

SGE6LEDOS25W35KE1-AR6223OSMWSO



Delivered Lumens: 1685
Luminaire Watts: 25.6
LER: 66

CP @ 0° (Nadir): 1361
Beam Angle: 67°
Spacing Ratio: 1.04

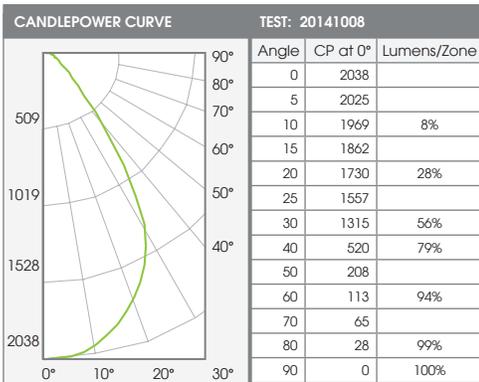
SINGLE UNIT: PERFORMANCE INITIAL FOOTCANDLES AND BEAM ANGLE DIAMETERS				MULTIPLE UNITS: PERFORMANCE 80/50/20% REFLECTANCES INITIAL FOOTCANDLES AND WATTS PER SQUARE FOOT			
Mounting Height*	FC at Center	Diameter of Beam**	FC at Beam**	Ceiling Height	Fixture Spacing	RCR 2: Large Room FC* W/Sq. Ft.	RCR 4: Medium Room FC* W/Sq. Ft.
6.5'	32	8.6'	11	9'	5'	58	1.14
7.5'	24	9.9'	8	9'	6'	41	0.90
8.5'	21	10.6'	7	10'	5'	53	0.85
9.0'	19	11.3'	7	10'	6'	46	0.71
9.5'	17	11.9'	6	11'	6'	42	0.67
10.0'	14	13.2'	5	11'	7'	31	0.52
11.0'	11	14.6'	4	12'	7'	29	0.54
12.0'	9	15.9'	3	12'	8'	25	0.40

* From aperture to horizontal surface below.
** At IESNA defined Beam Angle, to 50% Max. CP.

Delivered Illuminance Rating: (DIR) 64 FC per W/Sq. Ft. 55 FC per W/Sq. Ft.
*Average Footcandles at 2.5' above floor.

CCT: 3500° K CRI: 84 CCT Output Factors: 40K 103%, 30K 95%, 27K 89%

SGE6LEDOS35W35KE1-AR6223OSMWSO



Delivered Lumens: 2523
Luminaire Watts: 35.2
LER: 72

CP @ 0° (Nadir): 2038
Beam Angle: 67°
Spacing Ratio: 1.04

SINGLE UNIT: PERFORMANCE INITIAL FOOTCANDLES AND BEAM ANGLE DIAMETERS				MULTIPLE UNITS: PERFORMANCE 80/50/20% REFLECTANCES INITIAL FOOTCANDLES AND WATTS PER SQUARE FOOT			
Mounting Height*	FC at Center	Diameter of Beam**	FC at Beam**	Ceiling Height	Fixture Spacing	RCR 2: Large Room FC* W/Sq. Ft.	RCR 4: Medium Room FC* W/Sq. Ft.
7.5'	36	9.9'	13	10'	5'	79	1.17
8.5'	32	10.6'	11	10'	6'	69	0.98
9.5'	28	11.3'	10	11'	6'	64	0.92
10.0'	25	11.9'	9	11'	7'	47	0.72
11.0'	20	13.2'	7	12'	7'	44	0.74
11.5'	17	14.6'	6	12'	8'	38	0.55
12.0'	14	15.9'	5	14'	7'	44	0.65
14.0'	10	18.5'	4	14'	8'	37	0.49

* From aperture to horizontal surface below.
** At IESNA defined Beam Angle, to 50% Max. CP.

Delivered Illuminance Rating: (DIR) 70 FC per W/Sq. Ft. 59 FC per W/Sq. Ft.
*Average Footcandles at 2.5' above floor.

CCT: 3500° K CRI: 84 CCT Output Factors: 40K 103%, 30K 95%, 27K 89%

Dimensions and values shown are nominal. Spectrum Lighting is continually improving products and reserves the right to make changes that will not alter performance or appearance with or without written notice.



PROJECT: _____ **TYPE:** _____

CAT. NO.: _____



FEATURES & SPECIFICATIONS

INTENDED USE — Round tapered aluminum general purpose pole for up to 30 foot mounting heights.

CONSTRUCTION — Spun-tapered seamless 6063 alloy aluminum tubing, heat-treated to produce a T6 temper. Circumferential satin-brushed finish. The shaft is cone-tapered to the butt diameter.

Anchor base: Cast from A356 alloy aluminum, the anchor base is heat-treated to a T6 condition. The anchor base telescopes the pole shaft and is circumferentially welded at both the top and the bottom.

Hand hole: A nominal 3" x 5" or 4" x 6" reinforced flush-covered handhole is centered 18" above the base.

Hardware: Stainless steel.

Top cap: Removable top cap provided with all drill-mount poles.

Bolt covers: A356 nut covers are included with anchor base unless otherwise specified. 3RTA poles include spun aluminum base cover.

Finish: Must specify finish.

Grounding: Provision located inside hand hole rim. Grounding hardware is not included (provided by others).

Anchor bolts: Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod having a minimum yield strength of 55,000 psi.

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

SHEET 4

PRELIM LANDSCAPE PRELIM SITE LIGHTING

Anchor Base Poles
RTA
**ROUND TAPERED ALUMINUM
POLE RATINGS**



ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

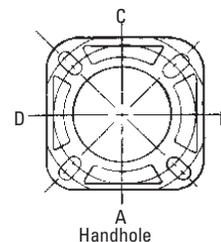
Example: RTA 25 6E DM19 BA

RTA Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting ¹	Options	Finish ¹¹
RTA	20 – 50 feet (See back page.)	(See back page.)	Tenon mounting PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) ² T35 4" O.D. (3-1/2" NPS) ^{2,3} Drill mounting⁴ DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM32 2 at 120° DM39 3 at 90° DM49 4 at 90° CSX/DSX/AERIS™/OMERO™ Drill mounting⁴ DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM32AS 3 at 120° DM39AS 3 at 90° DM49AS 4 at 90° AERIS™ Suspend drill mounting^{4,8} DMxxAST_ 1 at 90° OMERO™ Suspend drill mounting^{4,8} DMxxMRT_ 1 at 90°	Shipped installed L/AB Less anchor bolts FBC Full base cover VD Vibration damper TP Tamper proof H1-18Axx Horizontal arm bracket (1 fixture) ^{5,6} FDLxx Festoon outlet less electrical ⁵ CPL12xx 1/2" coupling ⁵ CPL34xx 3/4" coupling ⁵ CPL1xx 1" coupling ⁵ NPL12xx 1/2" threaded nipple ⁵ NPL34xx 3/4" threaded nipple ⁵ NPL1xx 1" threaded nipple ⁵ EHHxx Extra handhole ^{5,7} MAEX Match existing ⁹ USPOM United States point of manufacture ¹⁰	Standard colors DDB Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum BA Brushed aluminum Classic colors DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue Class 1 architectural anodized ABL Black ADB Dark bronze ANA Natural Architectural colors (powder finish)¹¹

NOTES:

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- N/A with 4C, 5C, 5E and 5G because pole top is too small.
- N/A with 6E, 6G and 7E because pole top is too small.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section on www.lithonia.com for Drilling Templates.
- Specify location and orientation when ordering option. For 1st x specify the height in feet above base of pole. Example: 5ft = 5 and 20ft = 20
For 2nd x, specify orientation from handhole (A,B,C,D)
Refer to the Handhole Orientation diagram on page 577 in PSG9.
- Horizontal arm is 18" x 2-3/8" O.D. standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Must add original order number.
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3).

HANDHOLE ORIENTATION



IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

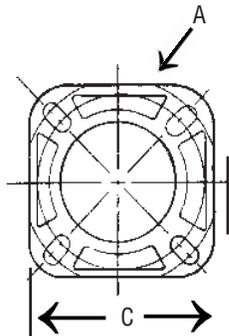
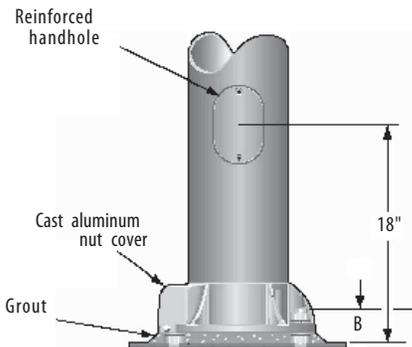
RTA-FLA Round Tapered Aluminum Poles

TECHNICAL INFORMATION

Catalog Number	Nominal mount ht. (ft)	Pole Shaft Size (in x ft)	Wall Thick (in)	EPA (ft2)						Bolt Circle (in)	Bolt Size (in. x in. x in.)	Approximate ship weight (lbs.)
				1.3 gust		Max 3 sec. gust						
				100 mph	Max. weight	130 mph	Max. weight (lbs)	150 mph	Max. weight (lbs)			
RTA 20 5C	20	5 x 3 x 19.8"	0.125	1.60	100	1.20	100	0.0	0	7.5 - 9.5	.75 x 18 x 3	62
RTA 20 5G	20	5 x 3 x 19.8"	0.188	3.80	100	3.10	100	2.0	100	7.5 - 9.5	.75 x 18 x 3	72
RTA 20 6G	20	6 x 4 x 19.8"	0.188	7.22	214	6.10	100	4.3	100	9 - 10	.75 x 30 x 3	107
RTA 20 7E	20	7 x 4 x 19.8"	0.156	9.00	256	7.50	100	5.3	100	9.875 - 11.25	1 x 36 x 4	103
RTA 25 6E	25	6 x 4 x 24.8"	0.156	2.60	114	1.80	200	1.0	200	9 - 10	.75 x 30 x 3	106
RTA 25 7E	25	7 x 4 x 24.8"	0.156	5.40	162	4.10	200	2.8	200	9.875 - 11.25	1 x 36 x 4	120
RTA 25 8E	25	8 x 4.5 x 24.8"	0.156	8.50	220	6.80	200	4.8	200	11 - 12	1 x 36 x 4	130
RTA 25 8G	25	8 x 4.5 x 24.8"	0.188	10.90	261	8.80	200	6.2	200	11 - 12	1 x 36 x 4	150
RTA 30 7E	30	7 x 4 x 29.8"	0.156	2.70	111	1.70	200	0.8	200	9.875 - 11.25	1 x 36 x 4	135
RTA 30 8E	30	8 x 4.5 x 29.8"	0.156	5.30	151	4.00	200	2.6	200	11 - 12	1 x 36 x 4	150
RTA 30 8G	30	8 x 4.5 x 29.8"	0.188	7.30	9	5.60	200	3.7	200	11 - 12	1 x 36 x 4	177
RTA 30 10G	30	10 x 6 x 29.8"	0.188	14.30	377	11.40	225	7.7	225	14 - 15	1 x 40 x 4	335
RTA 35 8E	35	8 x 4.5 x 34.8"	0.156	2.90	119	1.80	225	0.8	225	11 - 12	1 x 36 x 4	115
RTA 35 8G	35	8 x 4.5 x 34.8"	0.188	4.50	141	3.20	225	1.9	225	11 - 12	1 x 36 x 4	220
RTA 35 8J	35	8 x 4.5 x 34.8"	0.250	7.50	183	5.70	225	3.8	225	11 - 12	1 x 36 x 4	251
RTA 35 10G	35	10 x 6 x 34.8"	0.188	10.40	295	7.90	225	5.1	225	14 - 15	1 x 40 x 4	268
RTA 39 8G	39	8 x 4.5 x 38.8"	0.188	2.70	122	1.60	225	0.6	225	11 - 12	1 x 36 x 4	250
RTA 39 8J	39	8 x 4.5 x 38.8"	0.250	5.40	158	3.80	225	2.3	225	11 - 12	1 x 36 x 4	280
RTA 39 10G	39	10 x 6 x 38.8"	0.188	7.80	253	6.00	225	3.6	225	14 - 15	1 x 40 x 4	295
RTA 39 10J	39	10 x 6 x 38.8"	0.250	11.90	300	9.60	225	6.2	225	14 - 15	1.25 x 48 x 5	373
RTA 50 10J	50	10 x 6 x 49.8"	0.250	6.50	300	4.000	225	1.8	225	14 - 15	1.25 x 48 x 6	395

SHEET 4
PRELIM LANDSCAPE
PRELIM SITE LIGHTING

BASE DETAIL



POLE DATA						
Shaft base size	Bolt circle A	Bolt projection B	Base square C	TAnchor bolt description	Warehouse Anchor description	Template number
5"	7.5"-9.5"	3.25"	9.25"	ABRTA-5	AB18-0	PJ50032
6"	9"-10"	3.50"	10"	ABRTA-6	AB30-0	PJ50033
7"	9.875"-11.25	4.125"	10.5"	ABRTA-7	AB36-0	PJ50034
8"	11"-12"	4.25"	11.5"	ABRTA-8	AB36-0	PJ50035
10" G	14" - 15"	4.50"	14.5"	ABRTA-10G	n/a	PJ50036
10" J	14"-15"	5"	14.5"	ABRTA-10J	n/a	PJ50063

IMPORTANT:
These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

SHEET 6

FLOOR PLANS

GENERAL NOTES

- COORD INSTALLATION OF ALL DRYWALL WITH TENANT WALL ROUGH-IN
- DISTRIBUTE ALL UNDER SLAB UTILITIES (ELECTRICAL, WATER, GAS, SANITARY SEWER WASTE, DRAINS, AND VENTING) TO THE FINAL POINTS OF CONNECTION IN ACCORDANCE WITH TENANT'S CONSTRUCTION DOCUMENTS. NOTIFY TENANT A MIN OF TWO WEEKS PRIOR TO SLAB POUR
- COORDINATE ALL UTILITY LOCATIONS (EX. SWER, GAS, WATER, ELECTRIC) AND CONNECTIONS WITH SITE/CIVIL DRAWINGS, AS WELL AS MEP DRAWINGS.
- COORDINATE FINISHES WITH FINISH PLANS IN THIS SET.
- SLOPE ALL ADJACENT CONCRETE AWAY FROM THE BUILDING.
- ALL EXPOSED STEEL COLUMNS TO BE WRAPPED IN 5/8" TYPE X GWB.

FLOOR PLAN NOTES

- EXPANSION JOINT. COORD W/ STRUCTURAL.
- DOWNSPOUT. TIE TO STORM. COORD W/ SITE/CIVIL.
- CONCRETE SLAB. SMOOTH. COORD W/ ALL TENANT UTILITIES.
- LOCATION OF MAIN PANEL TO BE DETERMINED BY TENANT (STARBUCKS). COORD W/ ELEC DRAWINGS.
- KEYED, FROST FREE RECESSED HOSE BIB TO BE CONNECTED TO 1/2" COPPER PIPE; VISIBLE FOR TENANT CONNECTION.
- COORD FIT OUT WITH TENANT CONSTRUCTION DRAWINGS.
- GAS METER LOC. COORD W/ SITE CIVIL, MEP DRAWINGS
-
- REINFORCED CONCRETE PADS. COORD W/ WITH SITE CIVIL TO BE 0'-4" LOWER THAN FFE.
- FINAL WALL LOCATION TO BE DETERMINED BY TENANT.
-



PRELIMINARY NOT FOR CONSTRUCTION

PROJECT: **RESEARCH PARK SHOPPES**
MORGANTOWN, WV
FEOH REALTY
LEVEL 1

Drawing Set Number

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

REVIEW	<input type="checkbox"/> Conceptual
	<input type="checkbox"/> Review
	<input type="checkbox"/> Permitting
	<input type="checkbox"/> Bidding
	<input type="checkbox"/> Construction Documents

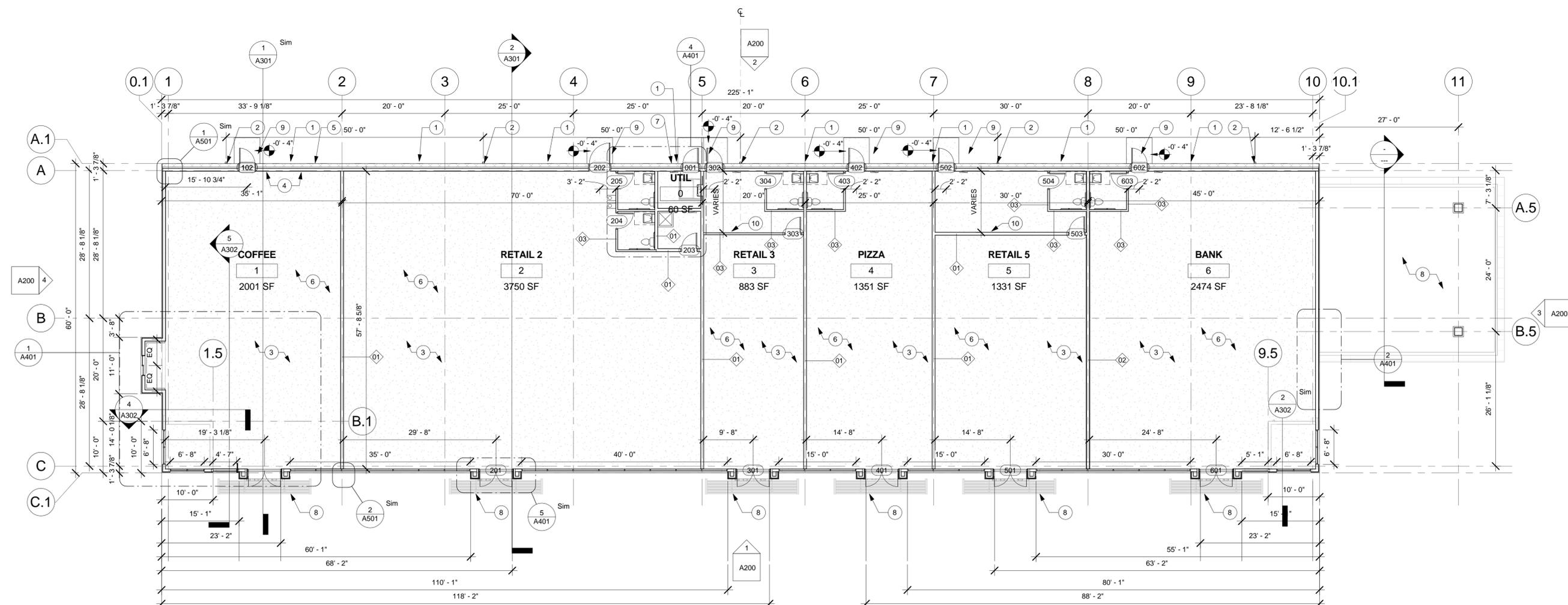
NOT FOR CONSTRUCTION

Project number	14184
Date	11-06-2015
Drawn by	RKH
Checked by	MJM

A101

Scale As indicated

SCALE REFERS TO 22" X 34" PAPER SIZE



1 LEVEL 1
3/32" = 1'-0"



11/06/2015 9:28:44 AM

SHEET 7

ELEVATIONS

ELEVATION MATERIAL SUMMARY

DT-1	STARBUCKS DRIVE-THRU WINDOW
DT-2	BANK DRIVE-THRU WINDOW
IG-1	INSULATED GLAZING UNITS
L-1	LOUVERED ALUMINUM SUN CONTROL
M-1	SMOOTH METAL TRIM COMPONENTS
M-2	SMOOTH METAL TRIM COMPONENTS
MP-1	CEMENTITIOUS PANELS - VERTICAL
P-1	EXTERIOR WALL PAINT
P-2	EXTERIOR WALL PAINT
P-4	EXTERIOR WALL PAINT
SF-1	ALUMINUM STOREFRONT SYSTEMS
ST-1	CAST STONE VENEER
WP-1	CEMENTITIOUS WALL PANELS
WP-2	CEMENTITIOUS WALL PANELS
WP-2,3	CEMENTITIOUS WALL PANELS

ELEVATIONS - KEYED NOTES

1	EXPANSION JOINT
2	GALVANIZED METAL DOWNSPOUT. TIE TO STORM. COORD W/ CIVIL
3	
4	BUILDING ADDRESS SUITE. NUMBER ABOVE DOOR



ARCHITECTURE ■ PLANNING ■ PRESERVATION
 53 WHARF STREET, SUITE 300 MORGANTOWN, WV 26501
 53 JATH STREET, SUITE 607 WHEELING, WV 26003
 PH. 304.296.1010 WWW.MILLSGROUPONLINE.COM PH. 304.233.0048

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT:
RESEARCH PARK SHOPPES
 MORGANTOWN, WV
 FEJOH REALTY
ELEVATIONS

Drawing Set Number

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

REVIEW	<input type="checkbox"/> Conceptual
	<input type="checkbox"/> Review
	<input type="checkbox"/> Permitting
	<input type="checkbox"/> Bidding
	<input type="checkbox"/> Construction Documents

NOT FOR CONSTRUCTION

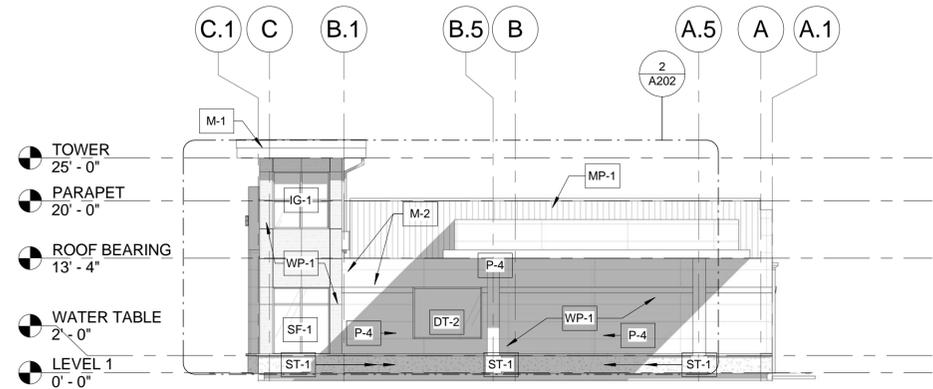
Project number	14184
Date	11-06-2015
Drawn by	RKH
Checked by	Checker

A200

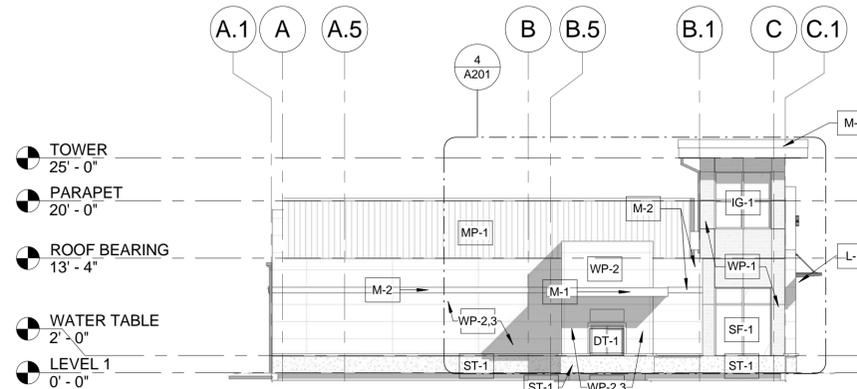
Scale 3/32" = 1'-0"

SCALE REFERS TO 22" X 34" PAPER SIZE

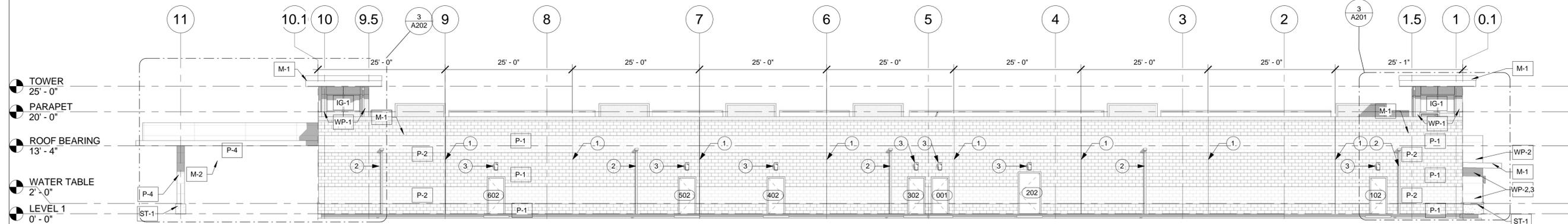
11/6/2015 11:15:59 AM



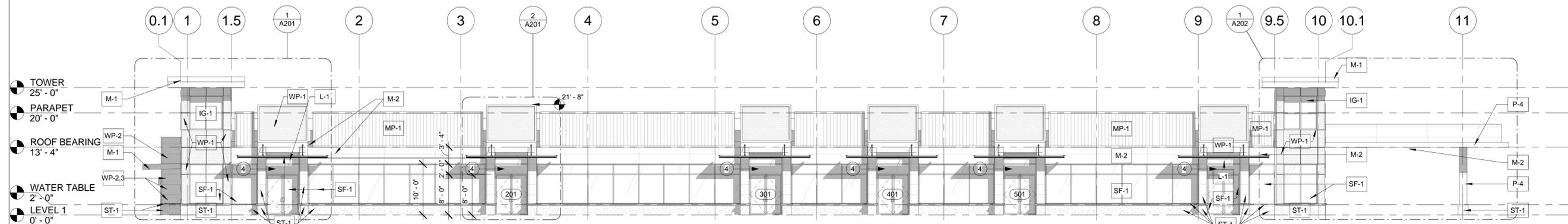
3 EAST
3/32" = 1'-0"



4 WEST
3/32" = 1'-0"



2 NORTH
3/32" = 1'-0"



1 SOUTH
3/32" = 1'-0"