



# MORGANTOWN BOARD OF ZONING APPEALS

September 17, 2014  
6:30 PM  
City Council Chambers

## **Board Members:**

Bernie Bossio, Chair  
Leanne Cardoso, Vice-Chair  
William Burton  
George Papandreas  
Jim Shaffer

## **STAFF REPORT**

**CASE NO:** V14-39 / Morgantown Beauty College / 276 Walnut Street

### **REQUEST and LOCATION:**

Request by Bob Lindsey of LAI Architects, Inc., on behalf of Mike Sodomoc and the Morgantown Beauty College for variance relief from Article 1331.06 as it relates to "Over-Store Dwelling" uses at 276 Walnut Street.

### **TAX MAP NUMBER(s) and ZONING DESCRIPTION:**

Tax Map 29, Parcels 27, 27.1 and 31; B-4, General Business District

### **SURROUNDING ZONING:**

B-4, General Business District

### **BACKGROUND and ANALYSIS:**

The petitioner seeks to develop twelve (12) one-bedroom apartments within the rear portion of the existing Morgantown Beauty College. Addendum A of this report illustrates the location of the subject site.

The following generally summarizes the proposed development program illustrated in the petitioner's application documents.

- The front portion of the building along Walnut Street and the basement of the rear portion of the building will be substantially renovated to serve the Morgantown Beauty College.
- A new ADA accessible ramp will be constructed on the front of the building along Walnut Street.
- Twelve (12) new one-bedroom loft apartments will be developed above the basement level of the rear building.
- All renovations and construction will be contained within the existing footprint of the building.
- The existing parking lot adjoining the site and accessed from Spruce Street (Parcels 27 and 27.1 of Tax Map 29) will be improved by closing the access drive directly onto Spruce Street, hardscape and/or landscape screening along Spruce Street, and paving the gravel lot.

Article 1329.02 provides the following definition for "Over-Store Dwelling" uses:

A building which contains a non-residential use on the ground floor and a dwelling unit on the second floor above the commercial or office use. The residential use on the second floor shall be subordinate in use to the non-residential uses. If the residential use contains more gross floor area than the non-residential use it shall be considered a s a mixed-use dwelling.

## **Development Services**

Christopher Fletcher, AICP  
Director

## **Planning Division**

389 Spruce Street  
Morgantown, WV 26505  
304.284.7431



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Table 1331.05.01 "Permitted Land Uses" provides that "Over-Store Dwelling" uses are permitted in the B-4 District by-right. However, the table provides the following supplemental regulations at Article 1331.06(20):

- (20) Over-Store Dwelling units shall comply with the follow:
- (a) The total gross floor area of such units cannot equal or exceed the total gross floor area of the office or commercial portion of the building. If the total gross floor area of the residential portion equals or exceeds that of the non-residential portion, then the residential use shall be considered the principal use of the land and the building shall be considered a mixed-use dwelling.
  - (c) No such units may be on the ground floor or street level of any building.

Although the dwelling units are located in the rear portion of the building, six (6) of the dwelling units will be located at or approximate to the grade level of Walnut Street. As such, variance relief appears necessary.

A letter of support dated 12 AUG 2014 has been submitted from Main Street Morgantown and is attached hereto.

On 11 SEP 2014, the Planning Commission approved the related Development of Significant Impact Site Plan petition under Case No. S14-06-III with, among others, a condition that the Board must grant the variance relief requested herein.

### **STAFF RECOMMENDATION:**

The Board of Zoning Appeals must determine whether the proposed request meets the standard criteria for a variance by reaching a positive determination for *each* of the "Findings of Fact" submitted by the applicant.

Addendum B of this report provides Staff recommended revisions to the petitioner's findings of fact (deleted matter struck through; new matter underlined).

Staff recommends that variance relief be granted as requested without conditions.

### **Development Services**

Christopher Fletcher, AICP  
Director

### **Planning Division**

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Morgantown, WV 26505  
304.284.7431

# STAFF REPORT ADDENDUM A

V14-39 / Morgantown Beauty College / 276 Walnut Street





## STAFF REPORT ADDENDUM B

### V14-39 / Morgantown Beauty College / 276 Walnut Street

---

Staff recommended revisions to the petitioner's Findings of Fact responses (deleted matter struck through; new matter underlined).

**Finding of Fact No. 1** – The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:

The existing exterior conditions are to remain, only the reworking of the flow and order of the existing Beauty College. The proposed design presents little modifications to the public eye yet improves the public entrance and egress into the existing structure in a functional and aesthetic way.

**Finding of Fact No. 2** – The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:

The loft apartments are introduced in an existing building at the same level of the existing street level of the Beauty College but are located completely behind the college providing a street entrance and then extending above the college level.

**Finding of Fact No. 3** – The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:

The undeveloped use of the existing building will allow the proper density needed to support the increasing demands of the Beauty College curriculum.

**Finding of Fact No. 4** – The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:

The new loft apartments are not experienced from the street level and extend above the existing business as intended in the zoning provision for which variance relief is sought. Specifically, the Beauty College will remain as the primary use and interaction with the Walnut Street streetscape and public realm.



City of Morgantown, West Virginia

APPLICATION FOR VARIANCE PETITION

OFFICE USE	
CASE NO.	V14-39
RECEIVED:	8/8/14

(PLEASE TYPE OR PRINT IN BLACK INK)

Fee: \$75

OK 3057

<b>I. APPLICANT</b>		Name:	Bob Lindsey		
Mailing Address:	327 Pricketts Fort Road			Phone:	304.288.3941
	Street	Fairmont	WV	26554	Mobile: 304.288.3941
	City	State	Zip	Email: rlindsey@buildinglabinc.com	
<b>II. PROPERTY</b>		Street Address:	276 Spruce Street		
Owner:	Mike Sodomick			Zoning:	b4
Mailing Address:	276 Spruce Street			Tax Map No:	29
	Street	Morgantown	WV	26505	Parcel No: 27.2,27.31
	City	State	Zip	Phone:	347.365.0323
<b>III. NARRATIVE</b>		Please describe the nature and extent of your variance request(s).			
<p>Requesting to redesign the existing layout of the Beauty College and to create 12 new loft apartments in the undeveloped and reworked square footage of the college.</p>					
<b>V. ATTEST</b>					
<p>I hereby certify that I am the owner of record of the named property, or that this application is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. The granting of a variance does not presume to give authority to violate or cancel the provisions of any other federal, state, or local law regulating construction or the performance of construction. I certify that the information submitted herein and attached hereto is true and accurate and understand that if found otherwise may result in the denial of this request or subsequent revocation of any and all related approvals. The undersigned has the power to authorize and does hereby authorize City of Morgantown representatives on official business to enter the subject property as necessary to process the application and enforce related approvals and conditions. I hereby authorize the Development Services Department to erect a notification sign on the subject property approximately 15 days prior to the BZA hearing. I further agree to maintain said signage and hereby accept responsibility in case of destruction or removal.</p>					
bob lindsey					08/14/2014
Type/Print Name of Applicant/Agent		Signature of Applicant/Agent			Date

You or a representative **MUST** be present at the scheduled hearing to present the request and answer questions. Failure to appear at the hearing will result in your request being tabled.



APPLICATION FOR VARIANCE PETITION

OFFICE USE table with CASE NO. V14-39 and RECEIVED:

VI. SUPPLEMENTAL INFORMATION

Depending on the type of variance request and the scale and scope of the development proposal, supplemental information may be needed to assist the Board of Zoning Appeals in rendering a variance decision. Staff will check the appropriate boxes below that must be addressed.

- Land Use Characteristics (complete only those that apply)
Residential, Single-Family Dwelling, Townhouse Dwelling, Two-Family Dwelling, Multi-Family Dwelling, Non-Residential or Mixed (please explain)

- Structure Characteristics (complete only those that apply)
Total number of buildings: Gross floor area of each building:
Estimated number of employees: No. of dwelling units: No. of bedrooms:
Additional structure-related details:

- Additional Information (as required by Staff):

- Site Plan. A scaled site plan may be required to assist the Board in rendering a variance decision. The following features must be represented, as required by Staff.
Location, shape, exterior dimensions, and number of stories of each building on the site.
Standard yard setbacks for the applicable zoning district
Location, grade, and dimensions of paved surfaces, and all abutting streets
Existing and proposed contours, at an interval of at least two (2) feet
Complete traffic circulation plan showing dimensions, entrance/exit drives, planters, and similar improvements
Location of landscaped areas (to be detailed on landscape plan), fences, walls, and other screen required



**APPLICATION FOR  
VARIANCE PETITION**

OFFICE USE	
CASE NO.	V14-39
RECEIVED:	

<b>VII. FINDINGS OF FACT</b>	<b>COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.</b>
<p>The Board of Zoning Appeals may grant a variance request only if each of the following "Findings of Fact" criteria is determined to be in the positive. Applicants must give their own responses to the following criteria statements.</p>	
<p><b>1. The variance will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents, because:</b></p> <p>The existing exterior conditions are to remain, only the reworking of the flow and order of the existing college. The proposed design presents little modifications to the public eye yet improves the public entrance and egress into the existing structure in a functional and aesthetic way.</p>	
<p><b>2. The variance arises from special conditions or attributes which pertain to the property for which a variance is sought and which were not created by the person seeking the variance, because:</b></p> <p>The loft apartments are introduced at the same level of the existing street level of the Beauty College but are located completely behind the college providing a street entrance and then extending above the college level.</p>	



City of Morgantown, West Virginia

**APPLICATION FOR  
VARIANCE PETITION**

OFFICE USE	
CASE NO.	114-39
RECEIVED:	

**VII. FINDINGS OF FACT** COMPLETE THE FOLLOWING STATEMENTS IN THIRD PERSON.

**3. The variance will eliminate an unnecessary hardship and permit a reasonable use of the land, because:**

The undeveloped use of the existing building allow the proper density needed to support the increasing demands of the college curriculum.

**4. The variance will allow the intent of the zoning ordinance to be observed and substantial justice done, because:**

The new loft apartment are not experienced from the street level and extend above the existing business as intended in the zoning.

**NOT FOR CONSTRUCTION**

Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**

Project Address  
**MBC & Livingzone 276 Walnut Lofts**  
Martinsburg, West Virginia  
client address

8/1/2014 10:01:21 AM  
Project Number: 09.011  
PROJECTdata

1/16" = 1'-0"

Cover



Morgantown Beauty College &  
**LIVINGZONE 276 WALNUTlofts**

ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT.  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CONTRACTOR UNDER THE LAWS OF THE STATE OF WEST VIRGINIA

**A000**

**NOT FOR CONSTRUCTION**

Revisions

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Client Signature for Phase Completion

**ARCHITECTURAL ABBREVIATIONS**

A.F.F.	above finished floor	CTR	ceramic tile	FPHB	frost proof hose bibb	LLH	long leg horizontal	PNL	panel	TBD	to be determined
AC	air conditioning	CTR	center	FR	frame / framed / framing	LLV	long leg vertical	POL	polished	TEL	telephone
AB	anchor bolt	D.F.	douglas fir	FS	floor sink	LOC	location	PR	pair	TERR	terrazzo
ABV	above	DEM	demolish / demolition	FSE	food service equipment	LP	low point	PRE.FIN	prefinished	TG	tempered glass
ACC	access	DEP	depressed	FTG	footing	LT	light	PROJ	projected / projection	THRESH	threshold
ACT	acoustical tile	DF	drinking fountain	FUR	furred, furring	LTL	lintel	PSF	pounds per square foot	TKS	tackstrip
AD	area drain	DIAG	diagonal	FVC	fire valve cabinet	LVR	louver	PSI	pounds per square inch	TO	top of
ADJ	adjacent	DIAM	diameter	GA	gage / gauge	MAS	masonry	PT	pressure treated	TS	top of sheathing
AGG	aggregate	DIM	dimension	GALV	galvanized	MAT	material / materials	PTD	painted	TSL	top of slab
ALT	alternate	DL	dead load	GC	general contract / general contractor	MAX	maximum	PTN	partition	TST	top of steel
ALUM	aluminum	DN	down	GD	grade / grading	MB	machine bolt	PVMT	pavement	TW	top of wall
AP	access panel	DO	door opening	GEN	general	MECH	mechanic / mechanical	QT	quarry tile	TYP	typical
APPROX	approximate	DPR	dispenser	GFRG	glass fiber reinforced concrete	MFR	manufacture / manufactured / manufacturer	RAD	radius	UC	undercut
ARCH	architect / architectural	DR	door	GFRG	glass fiber reinforced gypsum	MH	manhole	RCP	reinforced concrete pipe	UNO	unless noted otherwise
ASPH	asphalt	DS	downspout	GI	galvanized iron	MIC	microwave	RD	roof drain	UR	urinal
B.M.	bench mark	DTL	detail	GL	glass, glazing	MIN	minimum	REF	reference	VB	vapor barrier
B.N.	boundary nail	DW	dish washer	GS	gravel stop	MISC	miscellaneous	REFR	refrigerator	VB	vinyl base
BLDG	building	DWG	drawing	GYP.BD.	gypsum board	MO	masonry opening	REG	register	VCT	vinyl composite tile
BLK	block	E	east	H.C.	hollow core	MR	moisture resistant	REINF	reinforce / reinforcement / reinforced	VERT	vertical
BLKG	blocking	EA	each	H.P.	high point	MTL	metal	REQ	required	VIF	verify in field
BM	beam	EB	expansion bolt	HB	hose bibb	N	north	RES	resilient	VJ	v-joint / v-jointed
BN	bull nose	EIFS	exterior insulation & finish system	HC	handicap	NAT	natural	RET	retaining	W	west
BO	bottom of	EJ	expnsion joint	HDR	header	NIC	not in contract	RFL	reflect / reflected / reflective / reflector	W.P.	work point
BP	bent plate	EL	elevation	HDW	hardware	NO	number	RM	room	W/	with
BPL	bearing plate	ELEC	electric / electrical	HM	hollow metal	NTS	not to scale	RO	rough opening	WC	water closet
BRG	bearing	ELEV	elevator	HORZ	horizontal	O.D.	outside diameter	ROD	roof overflow drain	WD	wood
BTM	bottom	ELEV	elevation	HR	hour	OA	overall	RTU	roof top unit	WG	wired glass
BUR	built up roofing	EMP	employee	HT	height	OC	on center / on ceters	S	south	WH	wall hung
CA	construction administration	EN	end nail	HTG	heating	OD	outside dimension	S/S	slop sink / service sink	WIN	window
CAB	cabinet	ENCL	enclosure	HVAC	heating / ventilating / air conditioning	OH	overhead	SC	solid core	WM	wire mesh
CB	catch basin	EP	electrical panelboard	HWD	hardwood	OJ	open web joist / open web joists	SGH	schedule	WO	without
CEM	cement	EQ	equal	HYD	hydrant	OPG	opening	SD	storm drain	WP	waterproofing
CER	ceramic	EQUIP	equipment	ID	inside diameter	OPH	opposite hand	SEC	section	WR	water resistant
CI	cast iron	EWC	electric water cooler	INCL	include / included / including	OPP	opposite	SF	square feet	WSCOT	wainscot
CIR	circle	EXH	exhaust	INFO	information	P.L.	property line	SHT	sheet	WT	weight
CJ	control joint	EXIST	existing	INSUL	insulation / insulating	P.S.	parapet step	SHTH	sheathing	WWF	welded wire fabric
CL	center line	EXP	exposed	INT	interior	P/L	plastic laminate	SIM	similar		
CLG	ceiling	EXPSN	expansion	INT	interior	PAR	parallel	SPEC	specification / specifications		
CLR	clear / clearance	EXT	exterior	INV	invert	PB	panic bar	SPL	special		
CM	construction manager	F.R.	fire rated / fire rating	JAN	janitor	PC	pipe column	SQ	square		
CMT	ceramic mosaic tile	FD	floor drain	JST	joist	PCST	pre-cast	SS	stainless steel		
CMU	concrete masonry unit	FDN	foundation	JST BRG	joist bearing	PED	pedestal	ST	suite		
CNTR	counter	FE	fire extinguisher	JT	joint	PERF	perforate / perforated	STA	station		
COL	column	FEK	fire extinguisher closet	KPL	kickplate	PFB	prefabricate / prefabricated	STD	standard		
CONC	concrete	FF	finish floor	LAD	ladder	PG	plate glass	STL	steel		
CONSTR	construction	FIN	finish / finished	LAM	laminate / laminated	PL	plate	STRUCT	structure / structural		
CONT	continue or continuous	FLR	floor	LAV	lavatory	PLAM	plastic laminate	SUSP	suspended		
CONTR	contract / contractor	FOC	face of concrete	LB	lag bolt	PLAS	plaster	SYM	symmetry / symmetrical		
CPT	carpet / carpeted	FOM	face of masonry	LG	long	PLUMB	plumber / plumbing	SYS	system		
CRS	course	FOS	face of studs	LL	live load	PLYWD	plywood	T&G	tongue & groove		

**ABBREVIATION/LEGEND**

**MBC & Livingzone 276 Walnut Lofts**

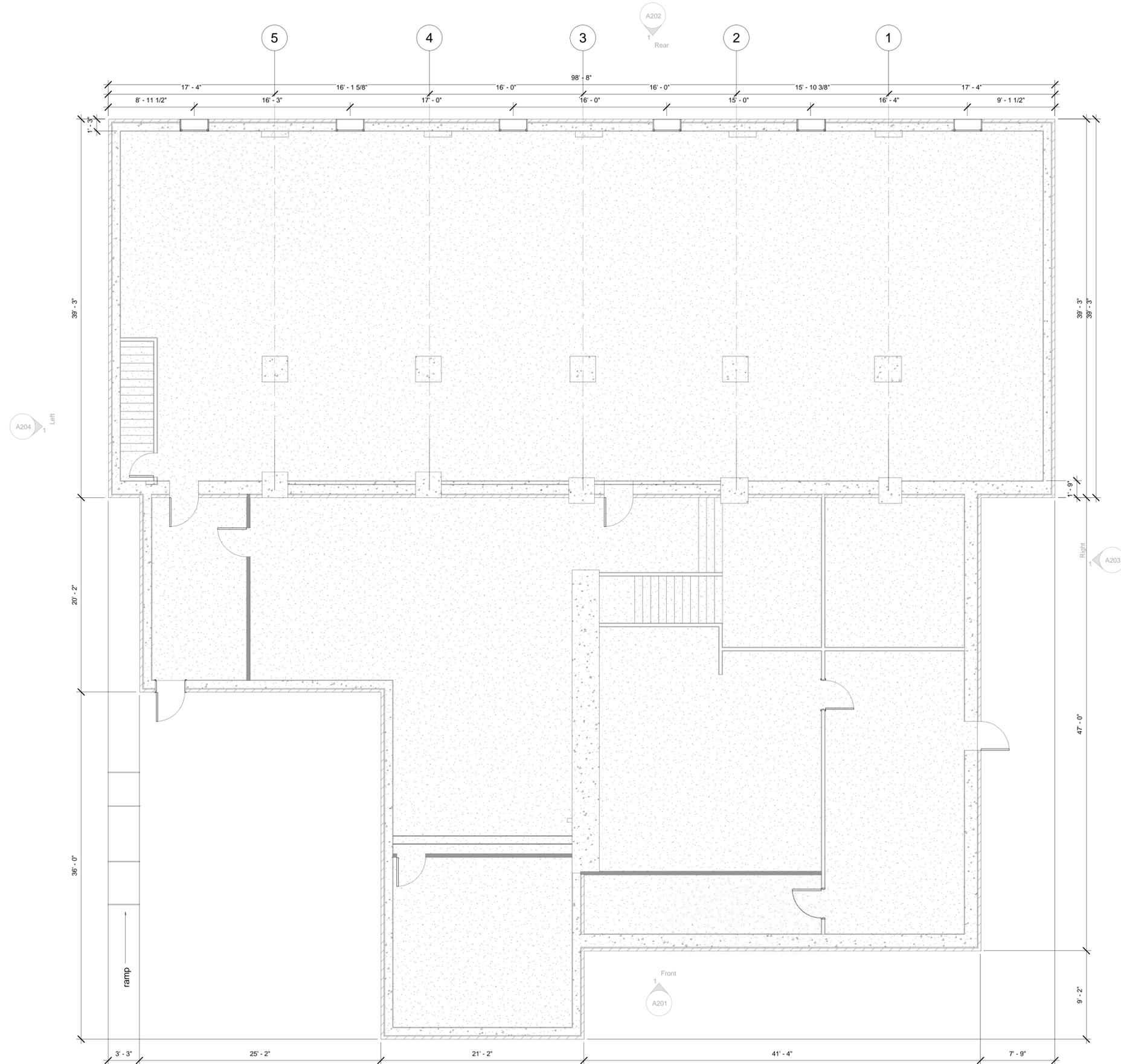
Project Address:  
**MBC & Livingzone 276 Walnut Lofts**  
Miscellaneous Project Information:  
client address

8/1/2014 10:01:24 AM

Project Number: 09.011

PROJECT data

1 : 1  
Abbreviations & Legends



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**

Project Address  
**MBC & Livingzone276 Apartments**  
200 Village East  
Martinsburg, West Virginia

7/31/2014 5:53:58 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
Basement Plan - Existing

Revisions

- Schematic Design
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- Construction Documents

Client Signature for Phase Completion

MBC & Livingzone276 Apartments

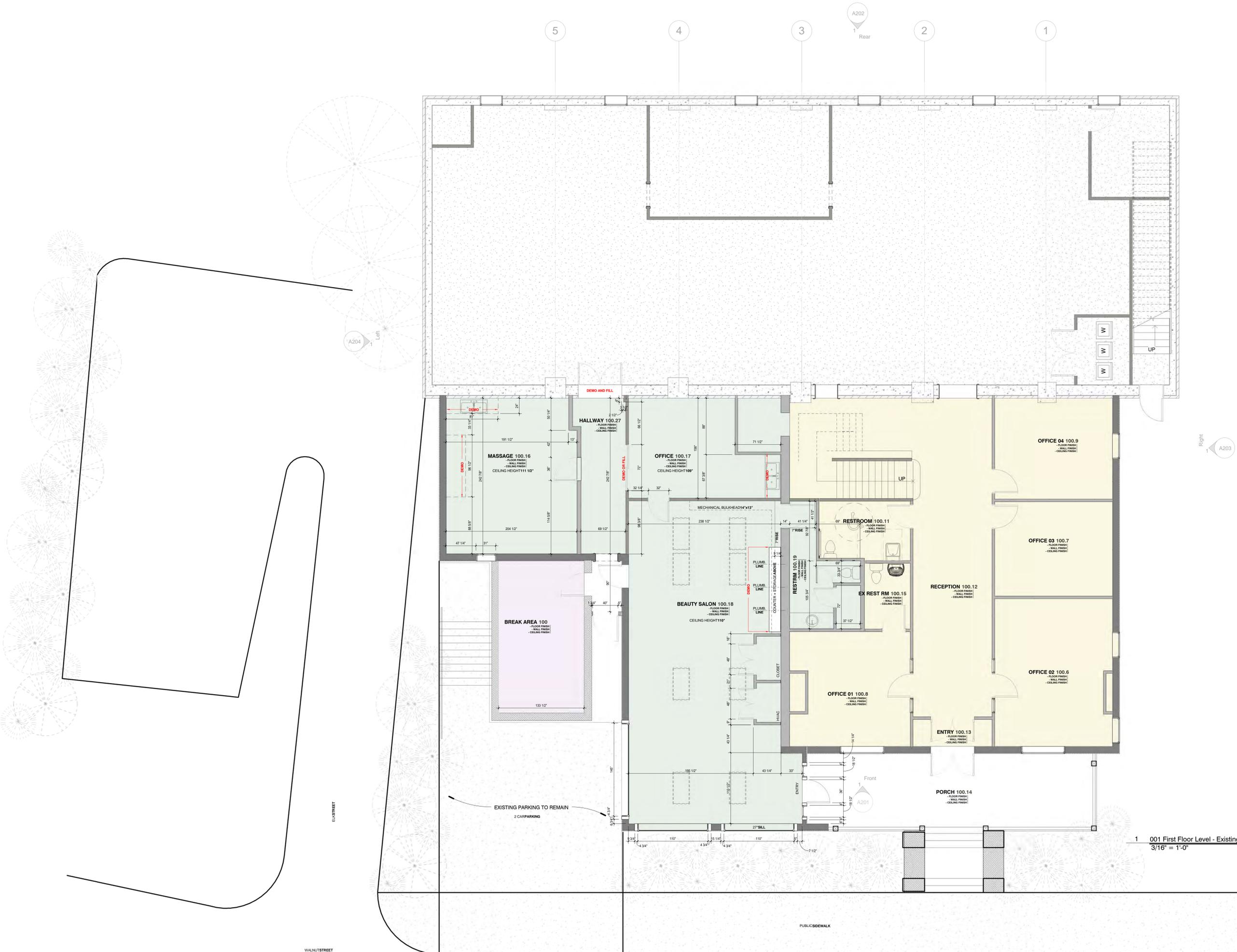
Project Address  
MBC & Livingzone276 Apartments  
200 Walnut St  
Martinsburg, West Virginia

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Project Number: 09.011  
PROJECTdata

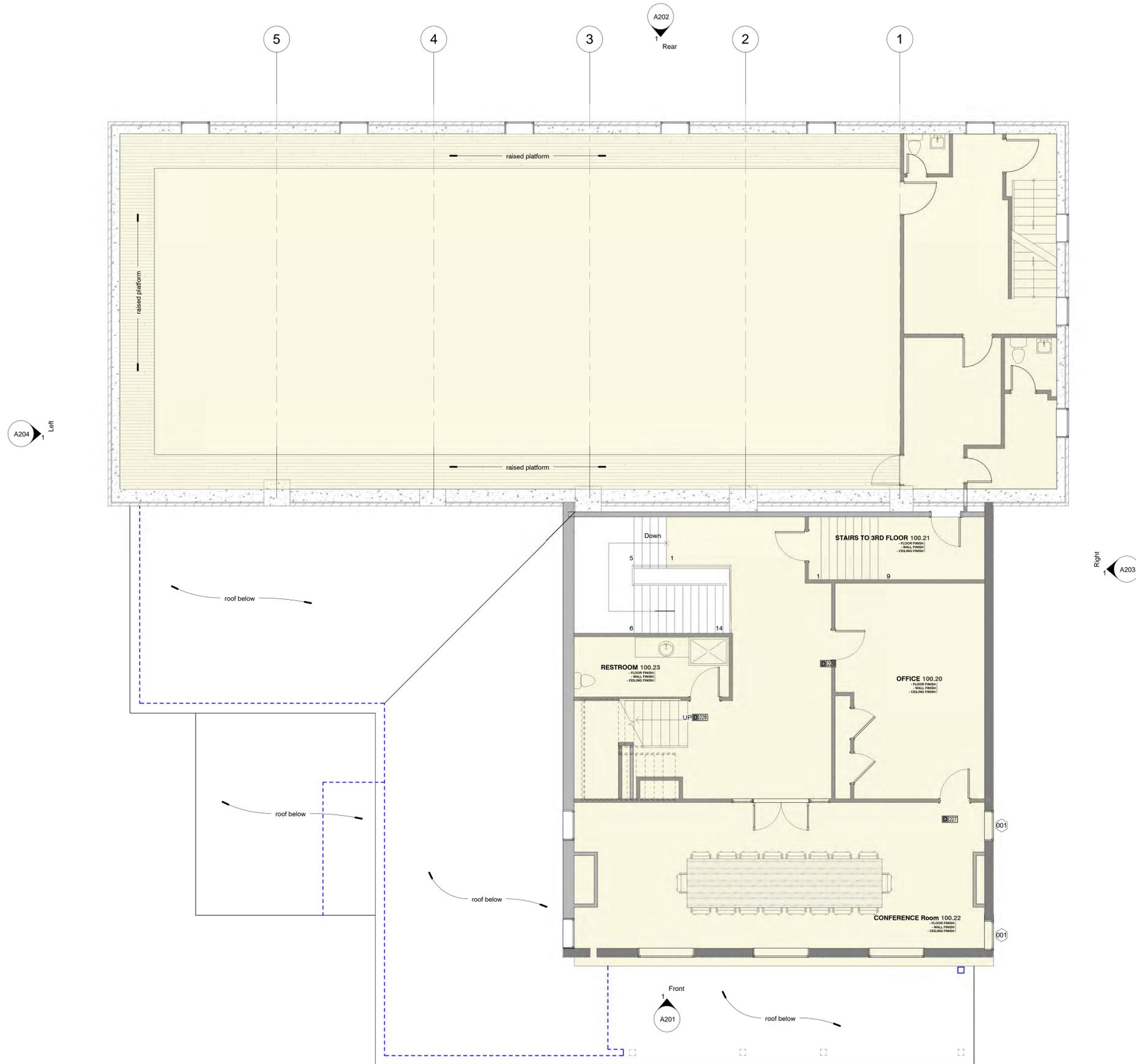
3/16" = 1'-0"

First Floor Plan - Existing

A091-E



1 001 First Floor Level - Existing  
3/16" = 1'-0"



Revisions

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Client Signature for Phase Completion

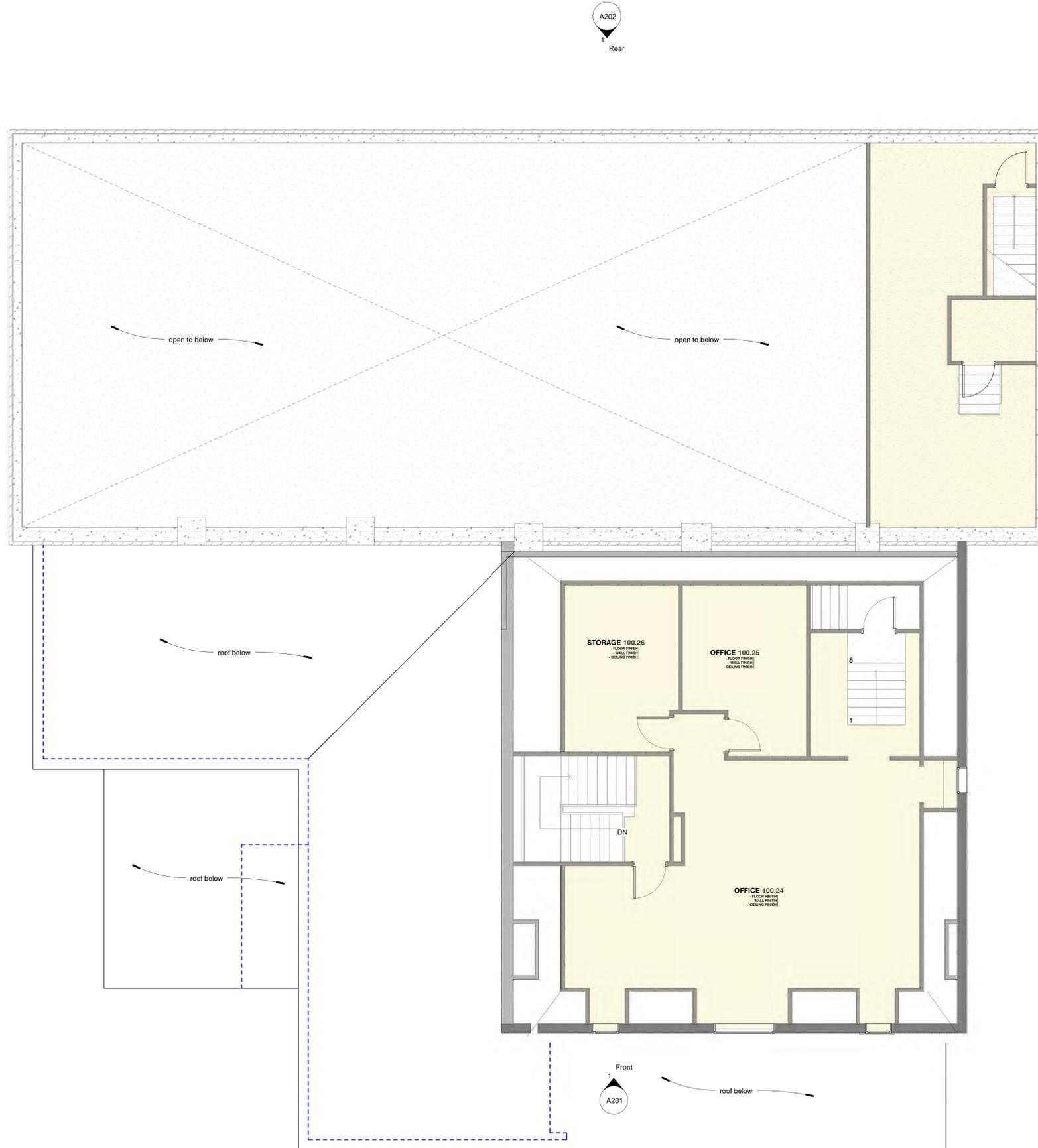
**MBC & Livingzone276 Apartments**

Project Address  
**MBC & Livingzone276 Apartments**  
200 Walnut St.  
Morgantown, West Virginia

7/31/2014 5:54:09 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
Second Floor Plan - Existing

1 002 Second Floor Level - Existing  
3/16" = 1'-0"



Revisions

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**MBC & Livingzone276 Apartments**

Project Address  
**MBC & Livingzone276 Apartments**  
200 Valley Dr  
Martinsburg, West Virginia

7/31/2014 5:54:14 PM  
Project Number: 09.011  
PROJECTdata

3/16" = 1'-0"  
Second Floor Loft  
Plan/Third Floor

1 002.5 Second Floor Loft - Existing  
3/16" = 1'-0"

**CIVIL PLAN NOTES:**

GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC GRADE LEVELS, LOCATIONS OF TREES AND THE PROPOSED BUILDING LOCATION. ARCHITECT WILL WALK THE SITE PRIOR TO REMOVAL OF TREES AND/OR VEGETATION TO MARK TREES/VEGETATION TO KEEP FOR LANDSCAPING/SITE BETTERMENT PURPOSES. IF GENERAL CONTRACTOR AND ARCHITECT HAVE MADE AN AGREEMENT TO FORGO THIS STEP THEN WORK WILL PROCEED; THE GENERAL CONTRACTOR WILL COMMUNICATE TO THE OWNER AND THE ARCHITECT ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK.

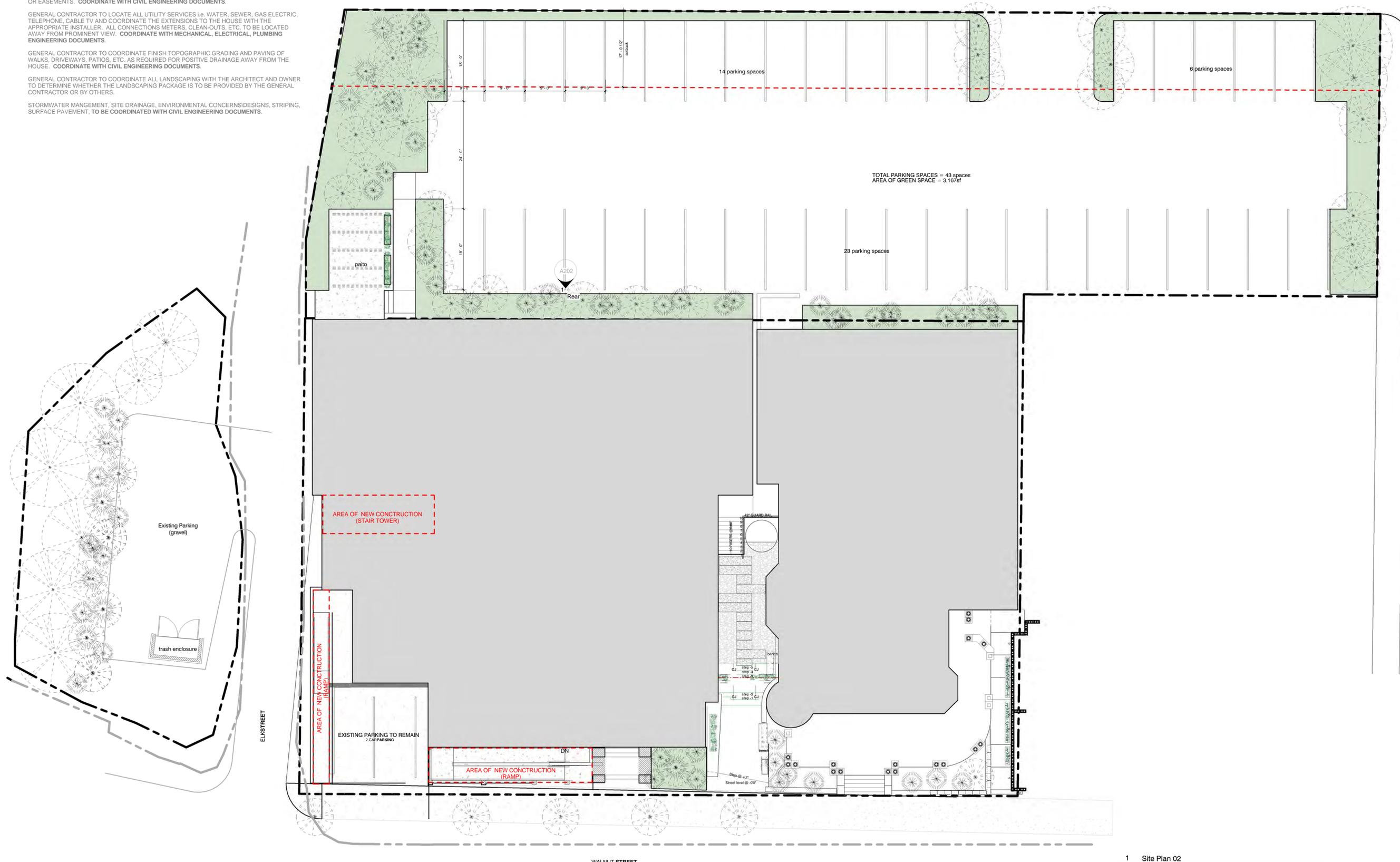
GENERAL CONTRACTOR TO HAVE A LICENSED ENGINEER OR SURVEYOR STAKE OUT OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCROACH ON ANY SETBACKS OR EASEMENTS. COORDINATE WITH CIVIL ENGINEERING DOCUMENTS.

GENERAL CONTRACTOR TO LOCATE ALL UTILITY SERVICES i.e. WATER, SEWER, GAS ELECTRIC, TELEPHONE, CABLE TV AND COORDINATE THE EXTENSIONS TO THE HOUSE WITH THE APPROPRIATE INSTALLER. ALL CONNECTIONS METERS, CLEAN-OUTS, ETC. TO BE LOCATED AWAY FROM PROMINENT VIEW. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING DOCUMENTS.

GENERAL CONTRACTOR TO COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC. AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE. COORDINATE WITH CIVIL ENGINEERING DOCUMENTS.

GENERAL CONTRACTOR TO COORDINATE ALL LANDSCAPING WITH THE ARCHITECT AND OWNER TO DETERMINE WHETHER THE LANDSCAPING PACKAGE IS TO BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.

STORMWATER MANGEMENT, SITE DRAINAGE, ENVIRONMENTAL CONCERNS/DESIGNS, STRIPING, SURFACE PAVEMENT, TO BE COORDINATED WITH CIVIL ENGINEERING DOCUMENTS.



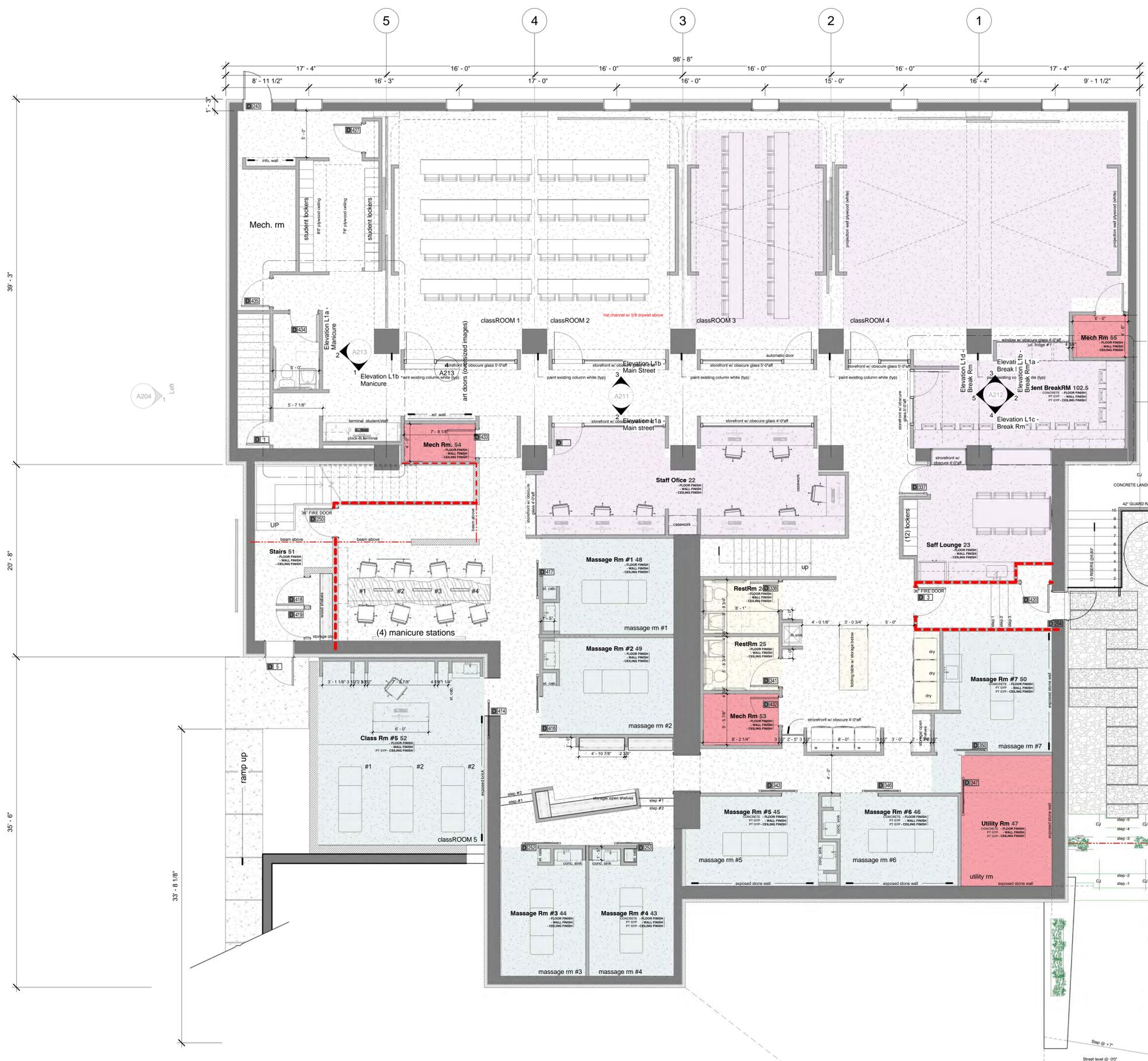
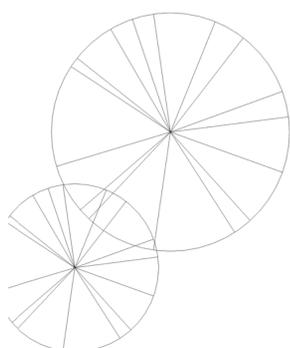
- Revisions
- Schematic Design
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  - Construction Documents
- Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**  
 Project Address  
**MBC & Livingzone276 Apartments**  
 200 Walnut St  
 Morgantown, West Virginia

7/31/2014 5:46:05 PM  
 Project Number: 09.011  
 PROJECTdata

1" = 10'-0"  
 Architectural Site Plan

1 Site Plan 02  
 1" = 10'-0"



Revisions

- Schematic Design
- Design Development
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- Building Permit
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Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**  
 Project Address  
**MBC & Livingzone276 Apartments**  
 200 Village Ln  
 Morgantown, West Virginia

7/31/2014 5:13:46 PM  
 Project Number: 09.011  
 PROJECTdata

3/16" = 1'-0"  
 Beauty College  
 Learning level



**FLOOR PLAN NOTES:**

CONTRACTOR TO MEET ALL 2012 IBC INTERNATIONAL BUILDING CODES GUIDELINES AND REGULATIONS. ANY CONDITIONS THAT REQUIRE MODIFICATIONS DUE TO THE IBC MUST BE COMMUNICATED TO THE BUILDINGLAB.

ALL FINISHES, INTERIOR AND EXTERIOR ALONG WITH DOORS, WINDOWS, FIXTURES, HANDRAILS, MILLWORK, EQUIPMENT, SOFFIT, FASCIA, GUTTERS, DOWNSPOUTS, ETC. SHALL BE SELECTED BY BUILDINGLAB.

THE CONTRACTOR SHALL CONSULT WITH BUILDINGLAB TO VERIFY THE SCOPE OF HIS WORK; TO VERIFY ALL FINISHES, FIXTURES.

CONTRACTOR TO VERIFY GLAZING DIMENSIONS WITH STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

PROVIDE F.R.T. BLOCKING AS REQUIRED AT ALL AREAS DESIGNATED TO RECEIVE MILLWORK OR REQUIRE ADDITIONAL SUPPORT.

CARD READERS ARE SPECIFIED BY THE DESIGNERS AND/OR OWNER'S SECURITY CONSULTANTS.

PROVIDE MOISTURE RESISTANT (MR) GYPSUM BOARD IN ALL TOILET ROOMS & JANITORS CLOSET WALLS AND KITCHEN BACK SPLASH AREAS.

PROVIDE SOUND INSULATION BETWEEN INDIVIDUAL UNITS (WALLS CEILINGS, FLOORS), CEILINGS, AND ENCLOSING TOILET ROOMS.

WHERE GYP. BOARD FINISH IS REQUIRED ON CONCRETE OR CONCRETE BLOCK WALLS, USE 3/8" C-STUD OR 2-STUD @ 16" O.C. WITH 5/8" GYP. BOARD - UNLESS NOTED OTHERWISE, OR STUDS FOR SAID CONDITION THAT MEET WITH DESIGNERS APPROVAL.

SEAL PENETRATIONS IN SOUND AND FIRE RATED WALLS ACCORDING TO ALL BUILDING CODE AND UL STANDARDS; MEETING TRADE QUALITY STANDARDS OF PRACTICE AS WELL.

**NOT FOR CONSTRUCTION**

Revisions

**Schematic Design**

Design Development

Progress

Bidding

Building Permit

Construction Documents

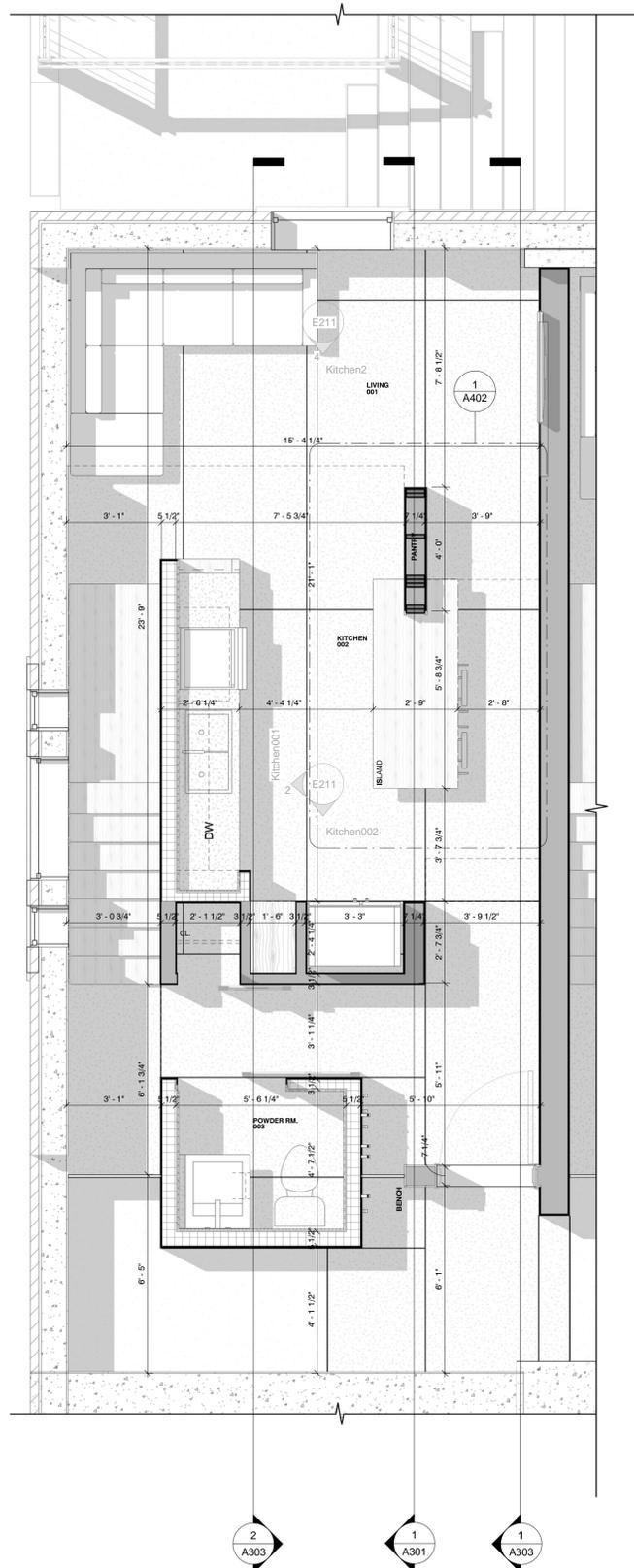
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Project Address:  
MBC & Livingzone 276 Walnut Lofts  
Morgantown, West Virginia  
client address

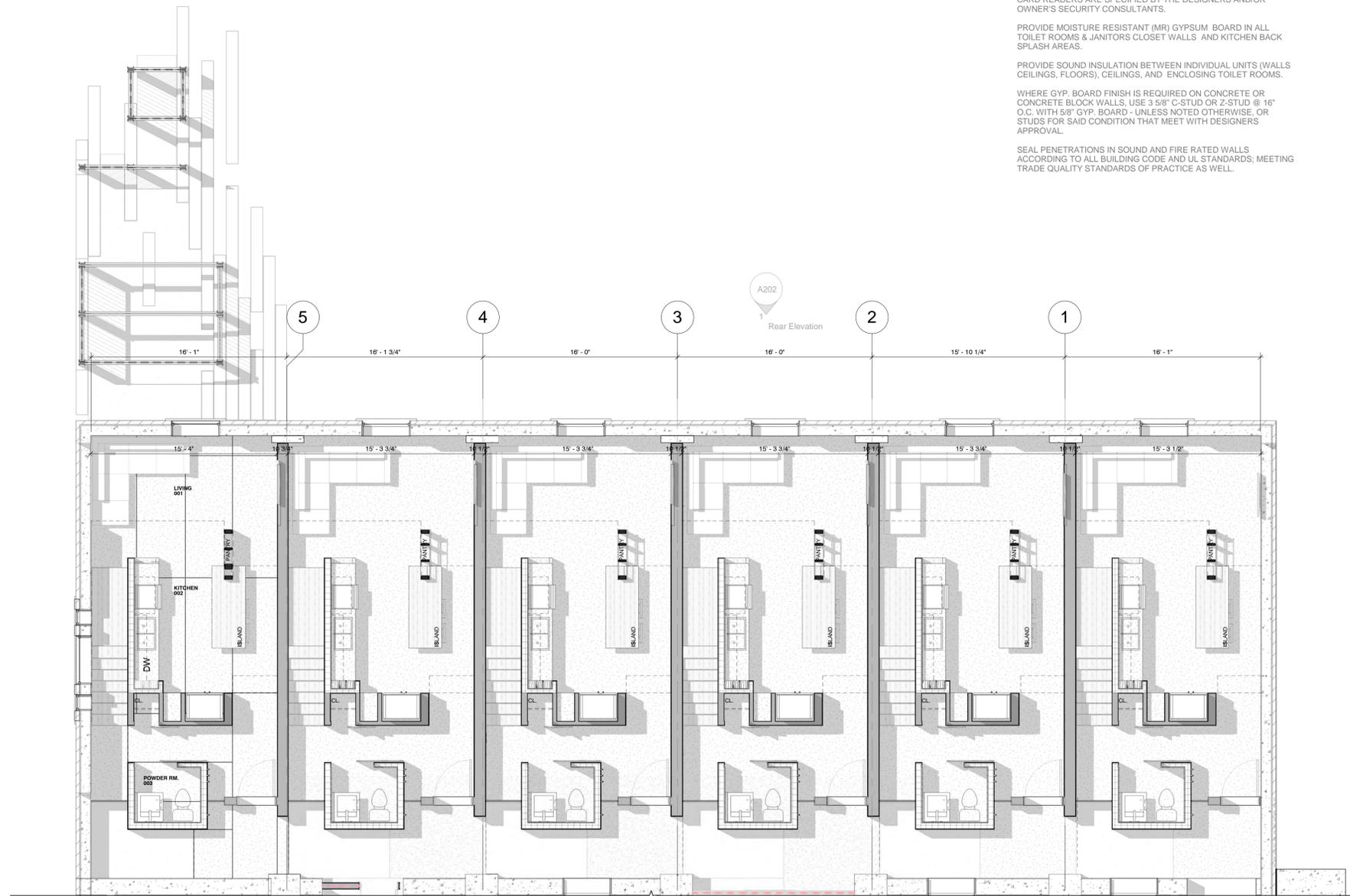
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Project Number: 09.011  
PROJECTdata

As indicated  
First Floor Plan

Number	Room Name	Room Finish Schedule				Comments
		Floor	Base	Wall	Ceiling	
001	LIVING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
002	KITCHEN	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
003	POWDER RM.	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
004	BATHROOM	TILE	T.B.D	TILE	TILE	
005	MICRO OFFICE	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
006	RESTING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	



2 001 First Floor Level Dimensions  
3/8" = 1'-0"



1 001 First Floor Level  
3/16" = 1'-0"



Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

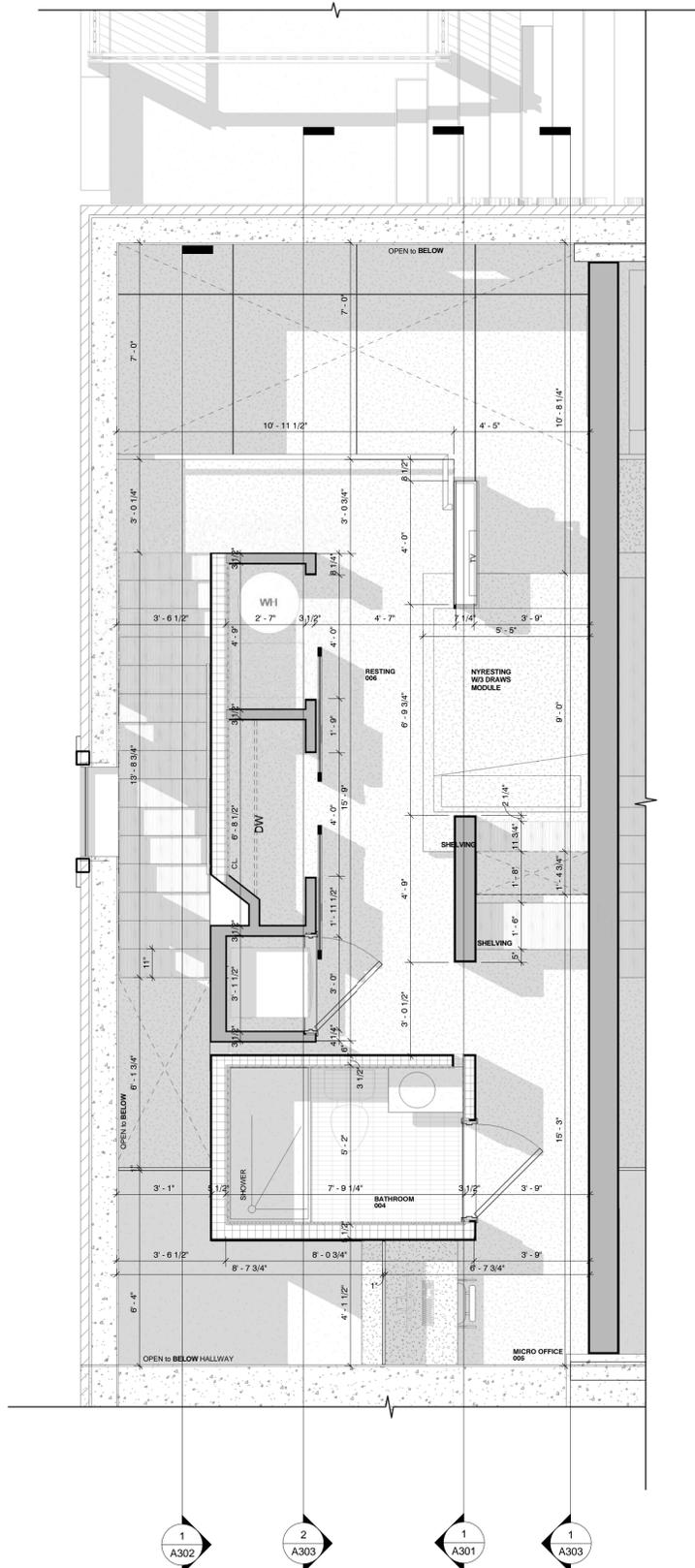
**MBC & Livingzone276 Apartments**

Project Address  
**MBC & Livingzone276 Apartments**  
200 Village East  
Martinsburg, West Virginia

7/31/2014 5:14:03 PM  
Project Number: 09.011  
PROJECTdata

1 001.5 First Floor Loft  
3/16" = 1'-0"

3/16" = 1'-0"  
First Floor Loft Plan



2 001.5 First Floor Loft Dimensions  
3/8" = 1'-0"

Room Finish Schedule						
Number	Room Name	Finish				Comments
		Floor	Base	Wall	Ceiling	
001	LIVING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
002	KITCHEN	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
003	POWDER RM.	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
004	BATHROOM	TILE	T.B.D	TILE	TILE	
005	MICRO OFFICE	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	
006	RESTING	A36 STEEL PLATE	T.B.D	WOOD W/WHITE STAIN	A36 STEEL PLATE	

**FLOOR PLAN NOTES:**

CONTRACTOR TO MEET ALL 2012 IBC INTERNATIONAL BUILDING CODES GUIDELINES AND REGULATIONS. ANY CONDITIONS THAT REQUIRE MODIFICATIONS DUE TO THE IBC MUST BE COMMUNICATED TO THE BUILDINGLAB.

ALL FINISHES, INTERIOR AND EXTERIOR ALONG WITH DOORS, WINDOWS, FIXTURES, HANDRAILS, MILLWORK, EQUIPMENT, SOFFIT, FASCIA, GUTTERS, DOWNSPOUTS, ETC. SHALL BE SELECTED BY BUILDINGLAB.

THE CONTRACTOR SHALL CONSULT WITH BUILDINGLAB TO VERIFY THE SCOPE OF HIS WORK; TO VERIFY ALL FINISHES, FIXTURES.

CONTRACTOR TO VERIFY GLAZING DIMENSIONS WITH STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

PROVIDE F.R.T. BLOCKING AS REQUIRED AT ALL AREAS DESIGNATED TO RECEIVE MILLWORK OR REQUIRE ADDITIONAL SUPPORT.

CARD READERS ARE SPECIFIED BY THE DESIGNERS AND/OR OWNER'S SECURITY CONSULTANTS.

PROVIDE MOISTURE RESISTANT (MR) GYPSUM BOARD IN ALL TOILET ROOMS & JANITORS CLOSET WALLS AND KITCHEN BACK SPLASH AREAS.

PROVIDE SOUND INSULATION BETWEEN INDIVIDUAL UNITS (WALLS CEILINGS, FLOORS), CEILINGS, AND ENCLOSING TOILET ROOMS.

WHERE GYP. BOARD FINISH IS REQUIRED ON CONCRETE OR CONCRETE BLOCK WALLS, USE 3/8" C-STUD OR Z-STUD @ 16" O.C. WITH 5/8" GYP. BOARD - UNLESS NOTED OTHERWISE, OR STUDS FOR SAID CONDITION THAT MEET WITH DESIGNERS APPROVAL.

SEAL PENETRATIONS IN SOUND AND FIRE RATED WALLS ACCORDING TO ALL BUILDING CODE AND UL STANDARDS, MEETING TRADE QUALITY STANDARDS OF PRACTICE AS WELL.

**NOT FOR CONSTRUCTION**

Revisions

**Schematic Design**

Design Development

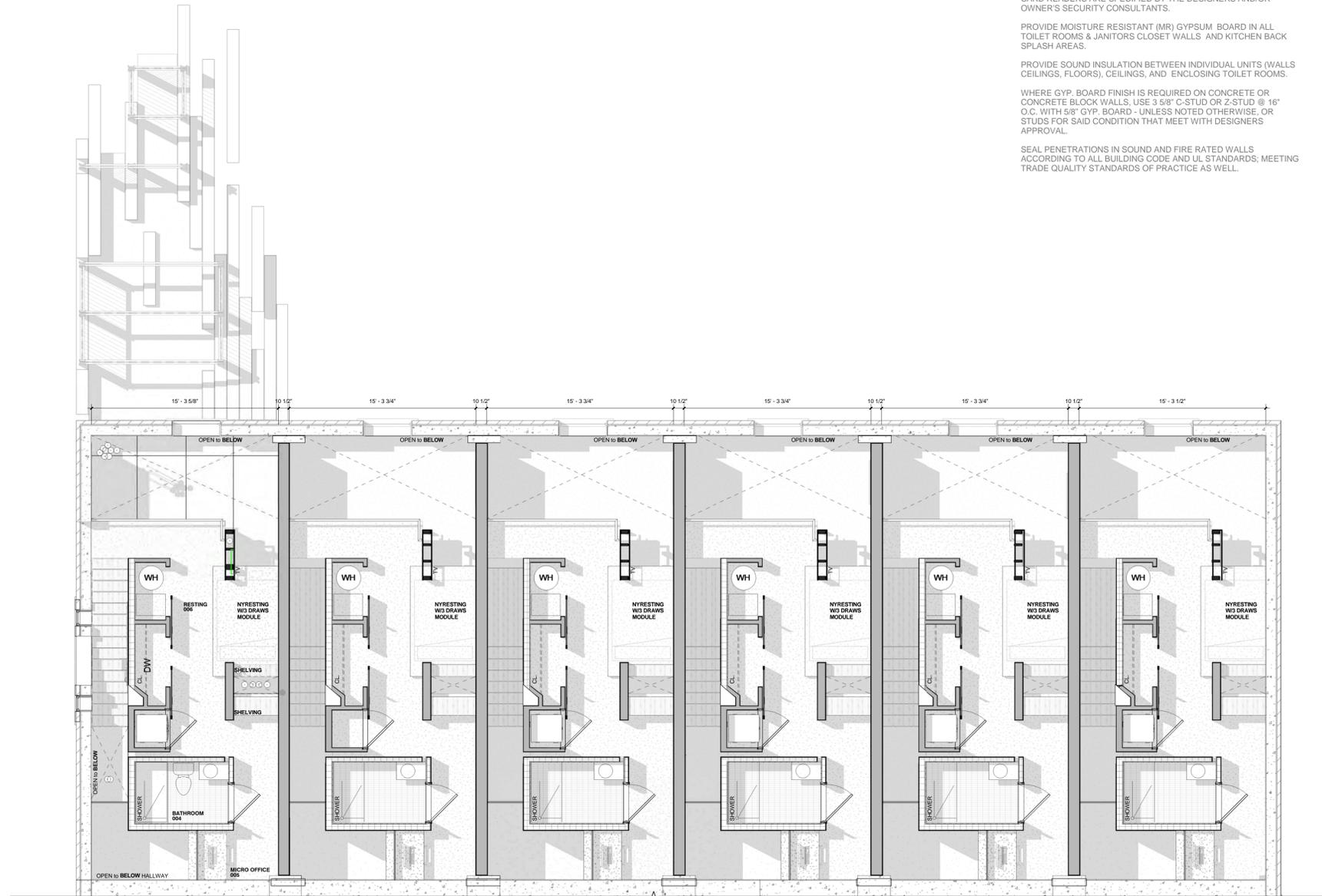
Progress

Bidding

Building Permit

Construction Documents

Client Signature for Phase Completion



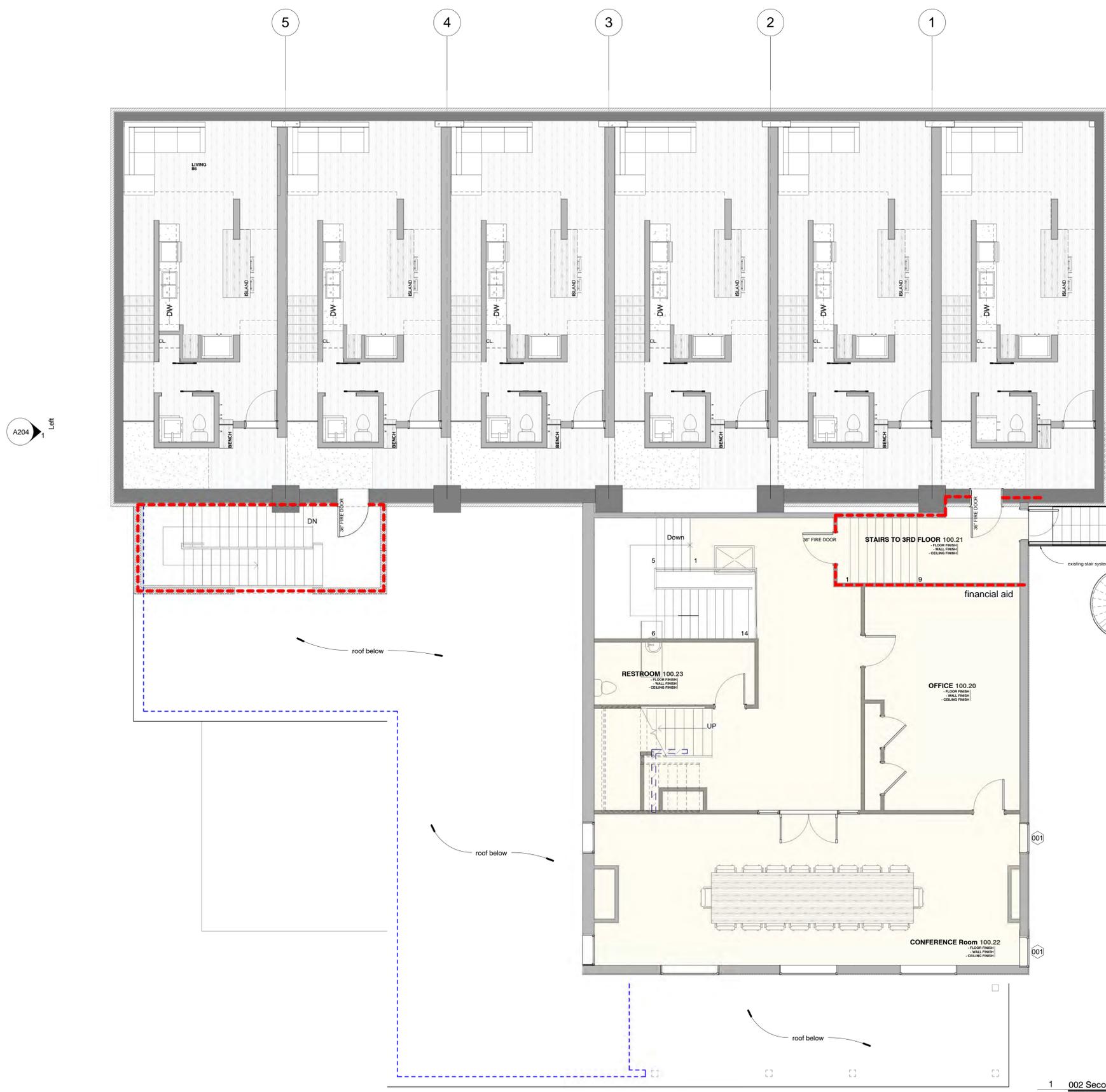
1 001.5 First Floor Loft  
3/16" = 1'-0"

**MBC & Livingzone 276 Walnut Lofts**

Project Address  
**MBC & Livingzone 276 Walnut Lofts**  
Micro Office, West Virginia  
client address

8/1/2014 10:02:05 AM  
Project Number: 09.011  
PROJECTdata

As indicated  
First Floor Loft Plan



- Revisions
- Schematic Design
  - Design Development
  - Progress
  - Bidding
  - Building Permit
  - Construction Documents
- Client Signature for Phase Completion

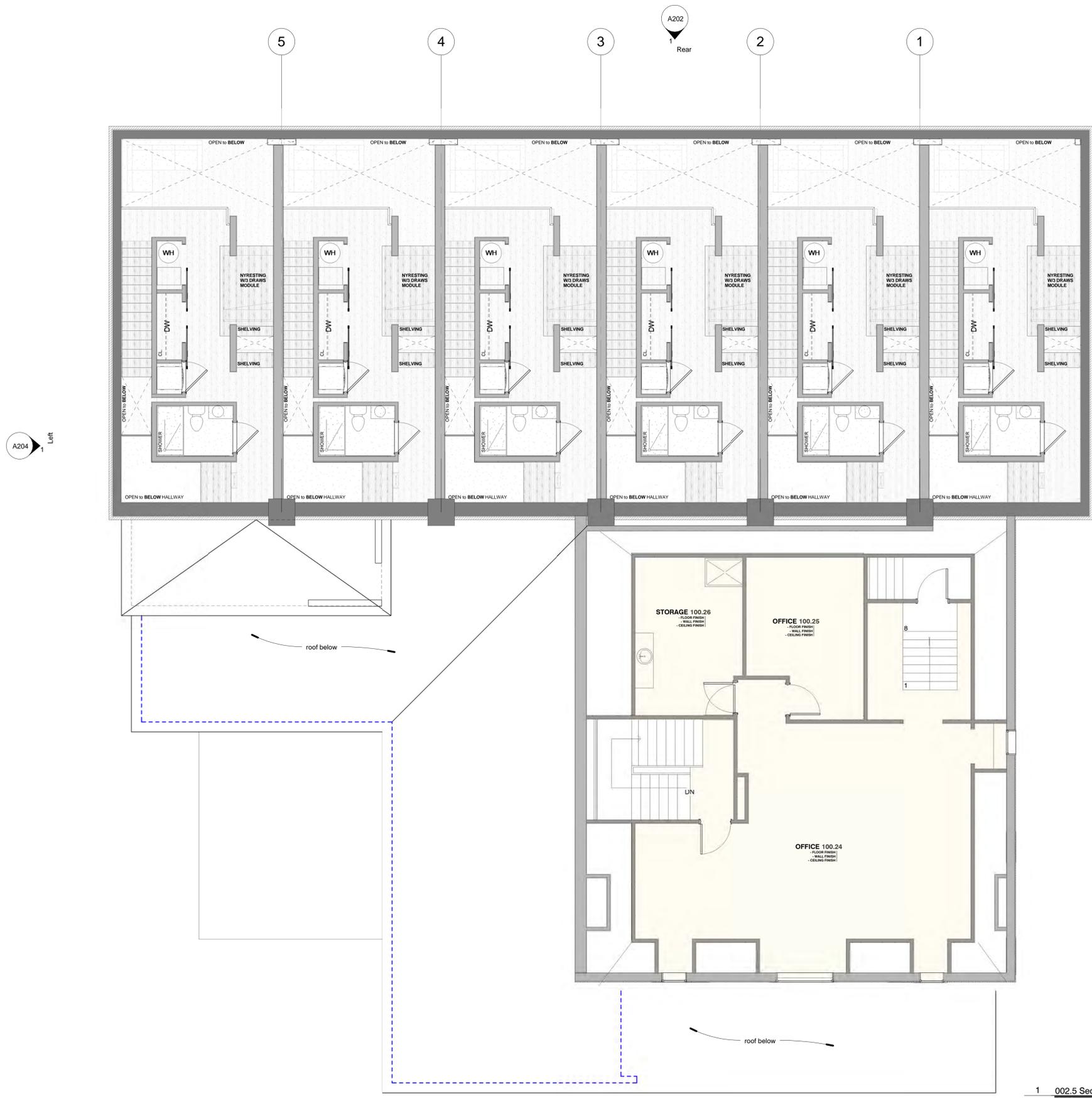
**MBC & Livingzone276 Apartments**  
 Project Address  
**MBC & Livingzone276 Apartments**  
 200 Walnut St  
 Morgantown, West Virginia

7/31/2014 5:14:10 PM  
 Project Number: 09.011  
 PROJECTdata

1 002 Second Floor Level  
 3/16" = 1'-0"

3/16" = 1'-0"  
 Second Floor Plan





- Revisions
- 
- Schematic Design  
 Design Development  
 Progress  
 Bidding  
 Building Permit  
 Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone276 Apartments**  
 Project Address  
**MBC & Livingzone276 Apartments**  
 200 Village East  
 Morgantown, West Virginia

7/31/2014 5:14:17 PM  
 Project Number: 09.011  
 PROJECTdata

1 002.5 Second Floor Loft  
 3/16" = 1'-0"

3/16" = 1'-0"  
 Second Floor Loft  
 Plan/Third Floor



# (RETHINKbeauty)

opening the minds of students

**Time, Experience, Memory**  
Through experience we are conscious of time. Through time, our experiences become memories, influencing both conscious and unconscious thought. It is through our five senses; touch, sight, hearing, smell and taste, that these experiences are gathered. We are also born with inherent knowledge that our species has collected from generation to generation. This inherent knowledge, collective unconscious, has a direct effect on the way we perceive experiences from our senses. The challenge of this project is to create a space that offers a place to pause and reflect on life.

**Inherent Knowledge**  
Inherent knowledge, collective unconscious, is the reservoir of our experiences as a species which is instilled within us at birth. The collective memories of Light, Shadow, Fire, and Water provide the bases for your project. These primordial elements when stitched together with the individuals experiences, from the womb to the tomb, will create a paradigm in the way one enters and leaves this space.



1 Front Elevation FOR STRUCTURAL ENGINEERING DRAWINGS FOR ALL BEAM, COLUMN, & STRUCTURAL MEMBERS  
3/16" = 1'-0"

EXTERIOR:			MATERIALS & FINISHES
NO.	MATERIAL	DESCRIPTION	MANUFACTURER / SUPPLIER
01	CONCRETE	CONCRETE MIX DESIGN T.B.D., MDO FORMS, RETARDER AND SEALANT T.B.D. VERTICAL WALLS	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
02	S.S. C CHANNELS	DOUBLE C CHANNELS - STAINLESS STEEL	WILSON WORKS: CONTACT RUSTY - 304.296.5447
03	GREEN SCREEN	HIGH TENSION CABLES AND CONNECTIONS TO MATCH EXISTING	LOCAL SUPPLIER
04	WOOD SIDING	WOODEN SIDING TO MATCH EXISTING SIDING IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
05	WOODEN COLUMNS	WOODEN COLUMNS TO MATCH EXISTING COLUMNS IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
06	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, POLISHED, SEALANT T.B.D. - BENCH SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
07	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, RETARDER AND SEALANT T.B.D. FLOORING SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
08	GLAZING	GLAZING TO MACH EXISTING GLASS, FRAME, WINDOW	ROYAL GLASS: CONTACT MIKE - 304.366.3791
09	METAL	1/2" METAL PLATE, S.S. STEEL, CUT-WATER JET, SANDED 320 GRIT, CONNECTION T.B.D.	WILSON WORKS: CONTACT RUSTY - 304.296.5447

NOTE: ...

**BuildingLAB**  
1650 speedway  
fairmont, wv 26554  
ph: 304.288.3941  
1301 Quail Roost  
pittsburgh, pa 15237  
ph: 412.849.8845  
www.buildinglabinc.com



FLOOR PLAN KEY

NOT FOR CONSTRUCTION  
Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**  
Project Address  
MBC & Livingzone 276 Walnut Lofts  
Morgantown, West Virginia  
client address

8/1/2014 10:03:17 AM  
Project Number: 09.011  
PROJECTdata

As indicated  
Front Elevation

**A201**

ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CONTRACTOR UNDER THE LAWS OF THE STATE OF WEST VIRGINIA.



**03 Green Screen**  
Green Screen is a three dimensional, welded wire trellis system. The distinctive modular trellis panel is the building block of the greenscreen system. Rigid and lightweight standard 3" or 2" tick panels are 4' wide x 6', 8', 1'-, 12' or 14' tall. [www.greenscreen.com](http://www.greenscreen.com)



**06 Concrete Polished**  
Concrete allows you to use a limited palette of materials comprised of concrete and the components which embody the mix; water, limestone chips or pea gravel, number 2 limestone gravel, and portland cement. We explore three aspects of the materials; the texture, the finish, and the resulting reaction to light.



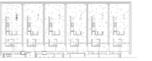
**07 Concrete Exposed Aggregate**  
Concrete allows you to use a limited palette of materials comprised of concrete and the components which embody the mix; water, limestone chips or pea gravel, number 2 limestone gravel, and portland cement. We explore three aspects of the materials; the texture, the finish, and the resulting reaction to light.

EXTERIOR:				MATERIALS & FINISHES
NO.	MATERIAL	DESCRIPTION	MANUFACTURER / SUPPLIER	
01	CONCRETE	CONCRETE MIX DESIGN T.B.D., MDO FORMS, RETARDER AND SEALANT T.B.D. VERTICAL WALLS	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543	
02	S.S. C CHANNELS	DOUBLE C CHANNELS - STAINLESS STEEL	WILSON WORKS: CONTACT RUSTY - 304.296.5447	
03	GREEN SCREEN	HIGH TENSION CABLES AND CONNECTIONS TO MATCH EXISTING	LOCAL SUPPLIER	
04	WOOD SIDING	WOODEN SIDING TO MATCH EXISTING SIDING IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED	
05	WOODEN COLUMNS	WOODEN COLUMNS TO MATCH EXISTING COLUMNS IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED	
06	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, POLISHED, SEALANT T.B.D. - BENCH SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543	
07	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, RETARDER AND SEALANT T.B.D. FLOORING SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543	
08	GLAZING	GLAZING TO MACH EXISTING GLASS, FRAME, WINDOW	ROYAL GLASS: CONTACT MIKE - 304.366.3791	
09	METAL	1/2" METAL PLATE, S.S. STEEL, CUT-WATER JET, SANDED 320 GRIT, CONNECTION T.B.D.	WILSON WORKS: CONTACT RUSTY - 304.296.5447	

NOTE: ...

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1650 speedway  
fairmont, wv 26554  
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1301 Quail Roost  
pittsburgh, pa 15237  
ph: 412.849.8845  
[www.buildinglabinc.com](http://www.buildinglabinc.com)

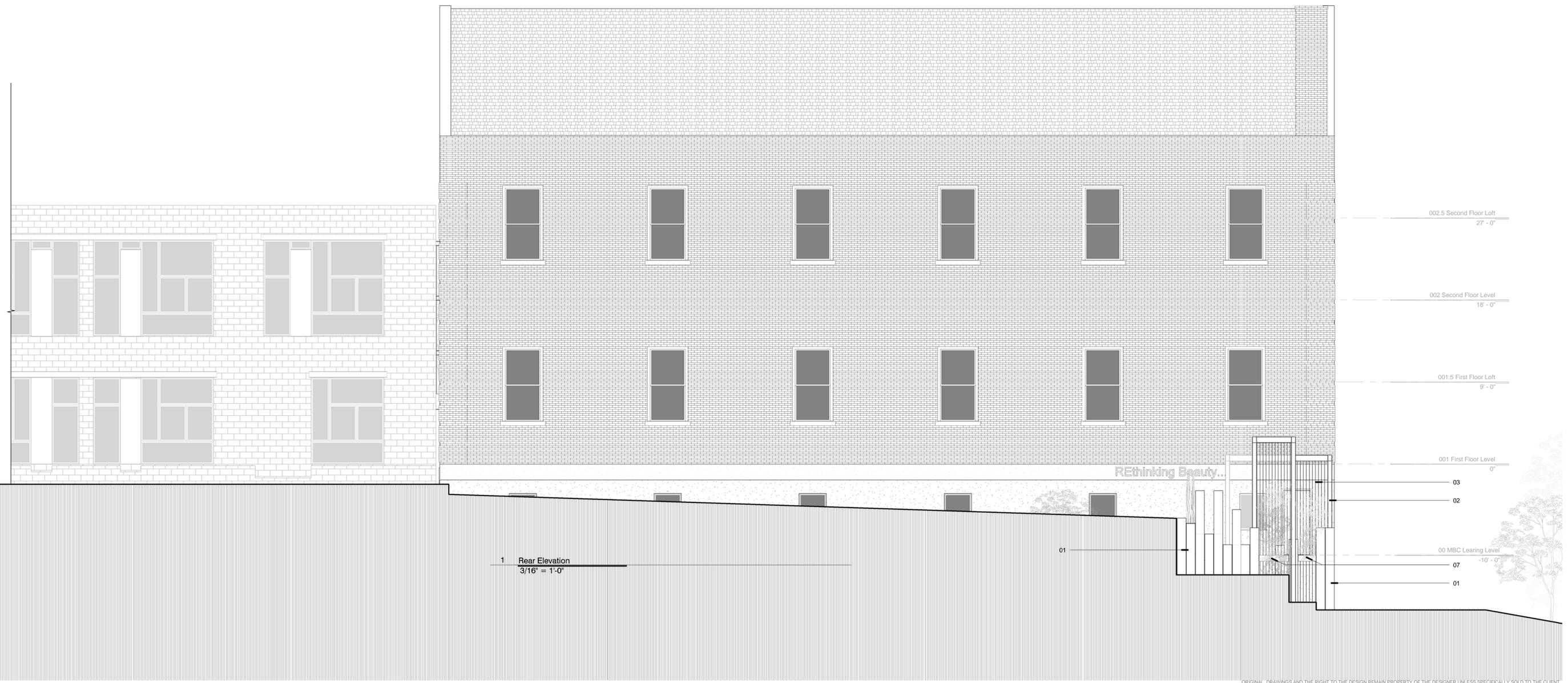
FLOOR PLAN KEY:



NOT FOR CONSTRUCTION  
Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion



**MBC & Livingzone 276 Walnut Lofts**  
Project Address  
MBC & Livingzone 276 Walnut Lofts  
Morgantown, West Virginia  
client address

8/1/2014 10:03:33 AM  
Project Number: 09.011  
PROJECTdata

As indicated  
Rear Elevation

**A202**

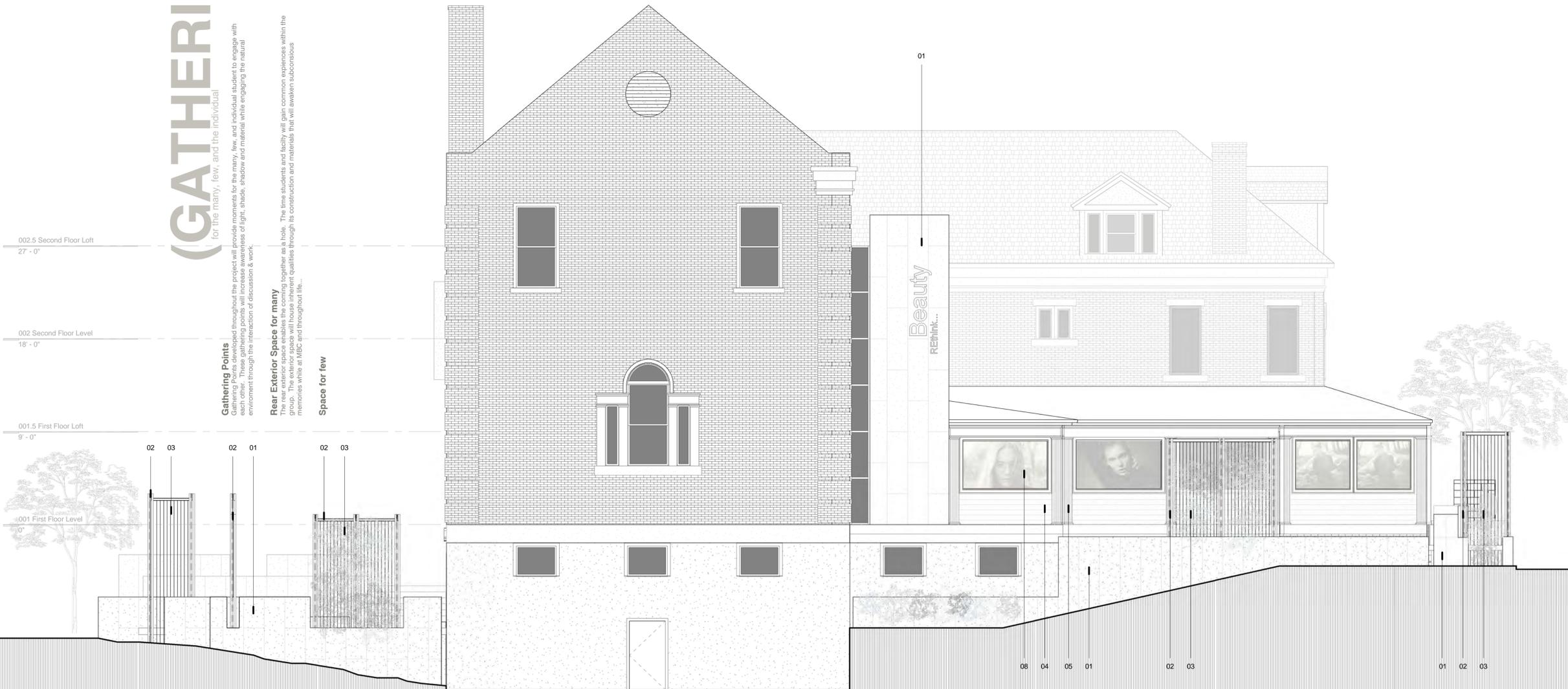
ORIGINAL DRAWINGS AND THE RIGHT TO THE DESIGN REMAIN PROPERTY OF THE DESIGNER UNLESS SPECIFICALLY SOLD TO THE CLIENT. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CONTRACTOR UNDER THE LAWS OF THE STATE OF WEST VIRGINIA.

# (GATHERINGpoints)

for the many, few, and the individual  
 Gathering Points developed throughout the project will provide moments for the many, few, and individual student to engage with each other. These gathering points will increase awareness of light, shade, shadow and material while engaging the natural environment through the interaction of discussion & work.

**Rear Exterior Space for many**  
 The rear exterior space enables the coming together as a hole. The time students and faculty will gain common experiences within the space from qualities through its construction and materials that will awaken subconscious memories while at MBC and throughout life.

**Space for few**



EXTERIOR:		MATERIALS & FINISHES	
NO.	MATERIAL	DESCRIPTION	MANUFACTURER / SUPPLIER
01	CONCRETE	CONCRETE MIX DESIGN T.B.D., MDO FORMS, RETARDER AND SEALANT T.B.D. VERTICAL WALLS	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
02	S.S. C CHANNELS	DOUBLE C CHANNELS - STAINLESS STEEL	WILSON WORKS: CONTACT RUSTY - 304.296.5447
03	GREEN SCREEN	HIGH TENSION CABLES AND CONNECTIONS TO MATCH EXISTING	LOCAL SUPPLIER
04	WOOD SIDING	WOODEN SIDING TO MATCH EXISTING SIDING IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
05	WOODEN COLUMNS	WOODEN COLUMNS TO MATCH EXISTING COLUMNS IN WOOD SPECIES, FINISH & SEALANT	TO BE DETERMINED
06	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, POLISHED, SEALANT T.B.D. - BENCH SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
07	CONCRETE	CONCRETE MIX DESIGN T.B.D., EXPOSED AGGREGATE, RETARDER AND SEALANT T.B.D. FLOORING SURFACES	DENNIS CONCRETE: CONTACT TIM - 1.800.659.5543
08	GLAZING	GLAZING TO MACH EXISTING GLASS, FRAME, WINDOW	ROYAL GLASS: CONTACT MIKE - 304.366.3791
09	METAL	1/2" METAL PLATE, S.S. STEEL, CUT-WATER JET, SANDED 320 GRIT, CONNECTION T.B.D.	WILSON WORKS: CONTACT RUSTY - 304.296.5447

NOTE: ...

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 1650 speedway  
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 1301 Quail Roost  
 pittsburgh, pa 15237  
 ph: 412.849.8845  
 www.buildinglabinc.com



**NOT FOR CONSTRUCTION**  
 Revisions

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- Progress
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- Building Permit
- Construction Documents

Client Signature for Phase Completion

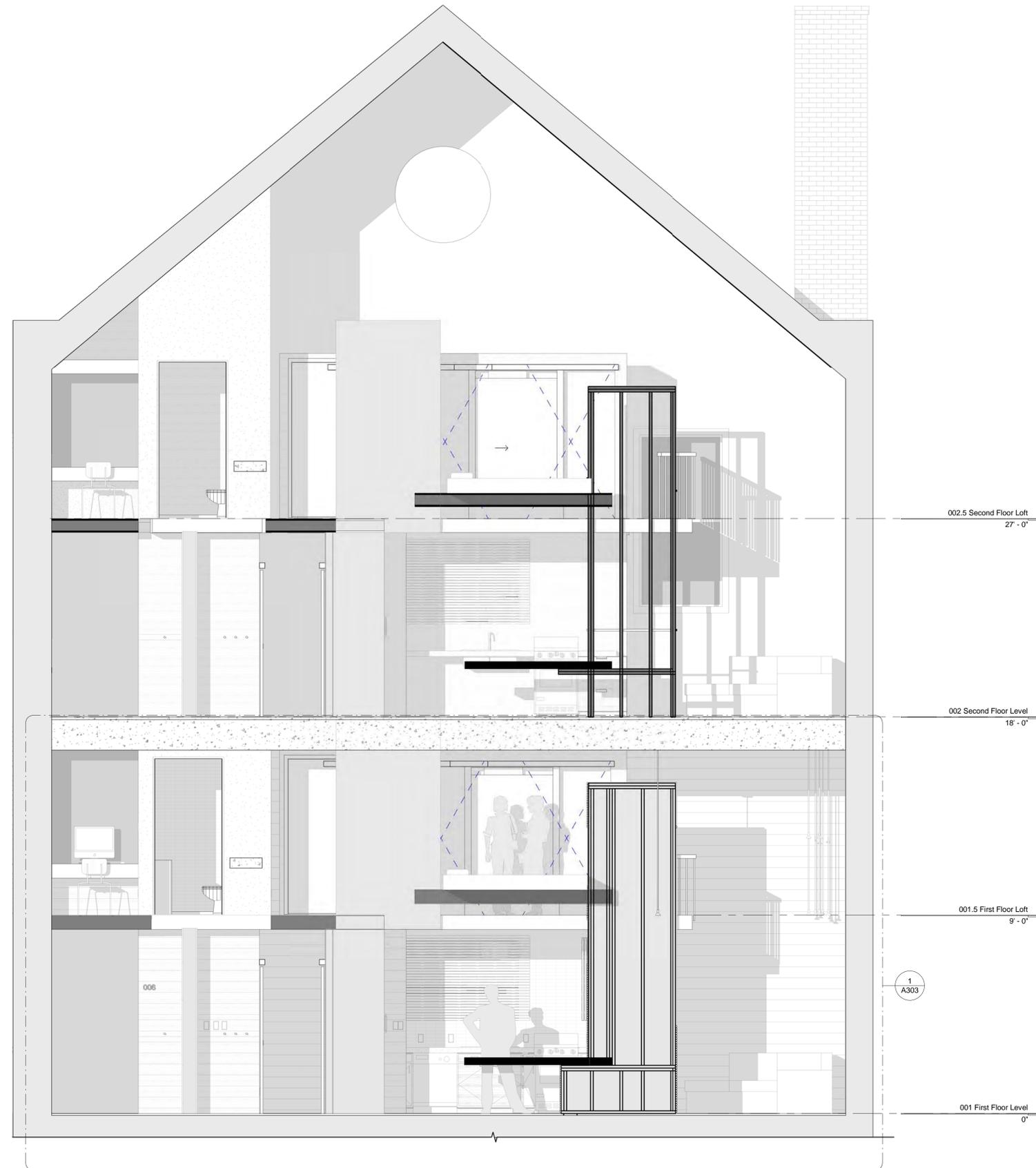
**MBC & Livingzone 276 Walnut Lofts**  
 Project Address  
 MBC & Livingzone 276 Walnut Lofts  
 276 Walnut Street  
 client address

8/1/2014 10:03:51 AM  
 Project Number: 09.011  
 PROJECTdata

As indicated  
 Left Elevation

1 Left Elevation  
 3/16" = 1'-0"

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Revisions

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- Construction Documents

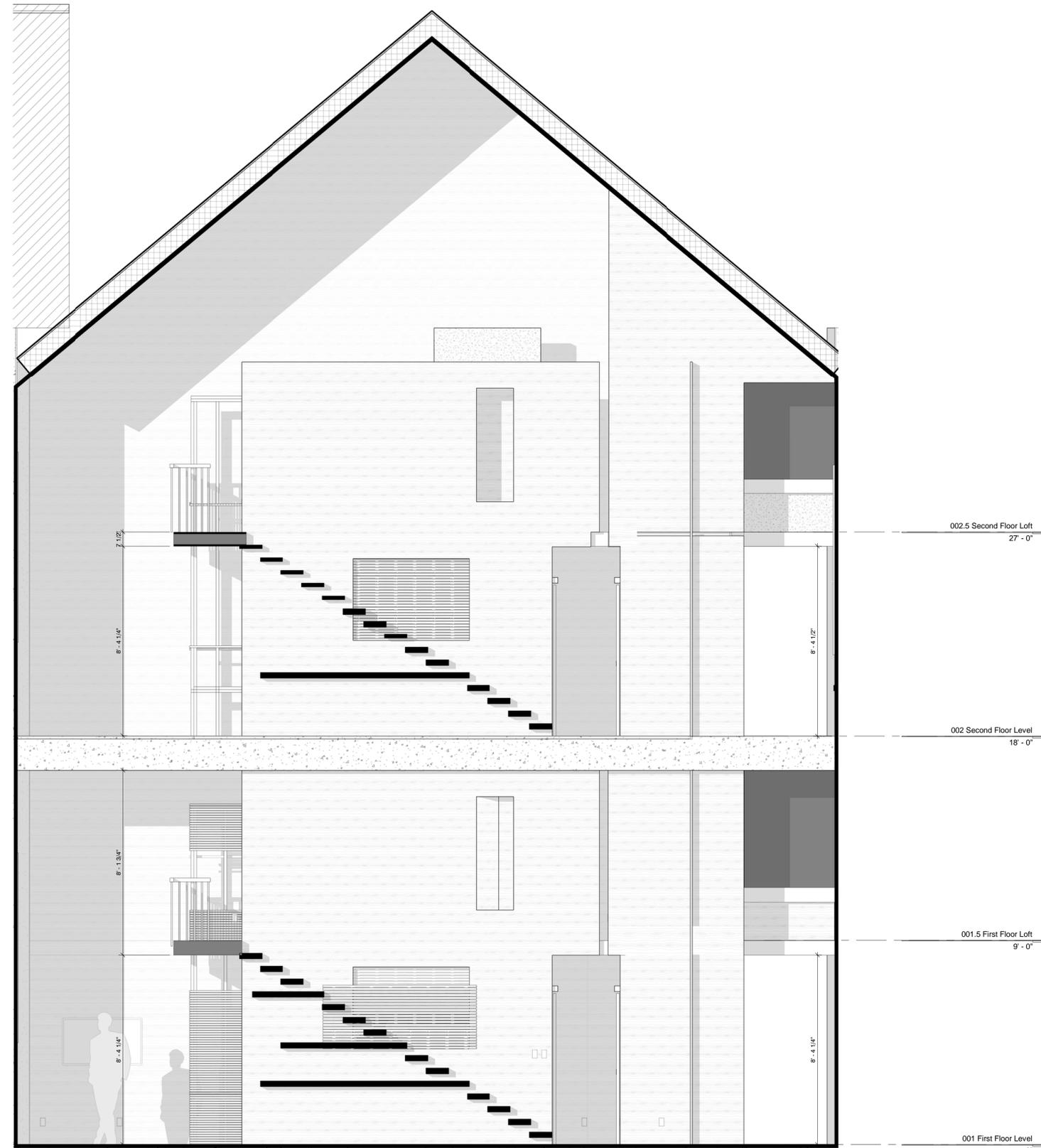
Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**  
Project Address:  
MBC & Livingzone 276 Walnut Lofts  
Martinsburg, West Virginia  
client address

8/1/2014 10:04:08 AM  
Project Number: 09.011  
PROJECTdata

3/8" = 1'-0"  
Building Section

1 Section 13  
3/8" = 1'-0"



**NOT FOR CONSTRUCTION**  
Revisions

- Schematic Design
- Design Development
- Progress
- Bidding
- Building Permit
- Construction Documents

Client Signature for Phase Completion

**MBC & Livingzone 276 Walnut Lofts**

Project Address:  
MBC & Livingzone 276 Walnut Lofts  
Martinsburg, West Virginia  
client address

8/1/2014 10:04:23 AM  
Project Number: 09.011  
PROJECTdata

3/8" = 1'-0"

Building Section

August 12, 2014

Dear Design Review Committee and Planning Commission Members,

The proposed residential project at the Morgantown Beauty College represents a tremendous economic opportunity to Morgantown generally, and the downtown, specifically.

By all indications, the developers' plans are to revitalize an underutilized property in a thoughtful and cooperative way adding a much desired facet to our downtown economic mix.

The Board of Directors of Main Street Morgantown recognizes that this opportunity falls well within the spirit and intent of our Mission Statement:

*"Main Street Morgantown, a tax exempt not-for-profit organization, is dedicated to the betterment of the Downtown and Wharf Districts through thoughtful revitalization. To this end, our focus is:*

- *a safe and welcoming physical design in the district,*
- *active recruitment, retention and promotion of our district.*
- *preservation of local history through architecture and design,*
- *partnering with local stakeholders, both public and private to achieve a vibrant and successful business community."*

Our final recommendation, presented at the end of this narrative, will be based on specific, quoted excerpts from the **Visions** and **Desired Outcomes** of three distinct sources:

- 1. The City of Morgantown Downtown Strategic Plan, adopted July 2010**
- 2. The City of Morgantown Comprehensive Plan, adopted June 2013**
- 3. The Downtown Housing Needs Assessment, Preliminary Draft, 11/2013**

(It is important to note that both the Strategic Plan as well as the Comprehensive Plan involved input from a wide demographic including business, government, board and commission members and residents.

The Housing Needs Assessment data was garnered from a random survey performed by the consultant.)

- 1. The City of Morgantown Downtown Strategic Plan, adopted July 2010**

### **1.5 Goals**

The goal of this Strategic Plan update is to focus attention on:

- "Developing new clusters of twenty-first century businesses and small industries downtown;"
- "Improving the supply, quality, and choice of downtown housing;"

- "Enhancing the downtown pedestrian experience by improving public spaces, transportation, and safety;"
- "Conserving natural resources by boosting the occupancy of downtown buildings and land."

### **1.6 How to Use This Strategic Plan**

"...this Strategic Plan will ensure that residents, property owners, business owners, and developers have a clear understanding of the community's vision, expected outcomes, strategies, and implementation processes."

### **1.8 Strategic Plan Recommendations**

- "Realign downtown Morgantown's public identity to reflect its expanded market position."
- "Make the downtown a stronger residential community by adding more housing, attracting new residents, and offering a full range of amenities to meet downtown residents' needs."
- "Boost the downtown's occupancy rate"

### **4.8 Housing**

"The opportunities to create a variety of housing types and price levels in the downtown are vast"

"In addition, there a number of empty lots that could be developed with new mixed-use buildings."

### **6.0 Downtown Strategies**

"The Strategic Plan update for downtown Morgantown incorporates the themes pulled from public involvement and work sessions into nine strategic components with accompanying strategies in order to work towards achieving the vision for downtown Morgantown."

- "Transportation: Expand diverse and convenient choices for downtown access and mobility.
- "Marketing and Promotion: Nurture a sustainable and resilient downtown economy through active management of the downtown and its businesses."
- "Housing and Redevelopment: Redevelop vacant and underperforming properties throughout the downtown and promote a variety of mixed-use housing in order to diversify the demographics of downtown residents."

### **Vision / Development Theme**

"A neighborhood with mixed-use live-work opportunities interspersed throughout, that

is directly adjacent to downtown and the Farmers' Market.”

## **6.6 Housing and Redevelopment**

### **Goal:**

“Redevelop vacant and underperforming properties throughout the downtown and promote a variety of mixed-use housing in order to increase density and diversify the demographics of downtown residents.”

### **Objectives:**

“Increase the supply, diversity, range, and affordability of housing opportunities within the downtown.”

### **Actions:**

6.6.1 “Grow the downtown resident population by creating more, and a broader range of, housing opportunities. The following downtown and community-wide benefits are expected from the increase in housing:”

- “Boost the captive market for community-serving retail goods and services downtown that will support new downtown residents and the residents of nearby neighborhoods.”
- “Increase occupancy and mixed-uses of underutilized downtown buildings.”
- “24/7/365 living, activity, commerce, and energy will create a safer downtown.”

6.6.3 “Stimulate infill development of mixed-use buildings on vacant lots throughout the downtown.”

## **2. The City of Morgantown Comprehensive Plan, adopted June 2013**

### **Principles of Land Management**

“Eleven Principles describe the intent about “how” and “where” growth and development in Morgantown should occur.”

“These principles should be used to help guide the city on how to use land resources in a more efficient and effective manner to foster a high quality community with a distinct sense of place.”

Four of these are directly applicable to the development in question and are presented in the order in which they appear in the Comprehensive Plan:

- “1. Infill development and redevelopment of underutilized and/or deteriorating sites takes priority.”
- “2. Expansion of the urban area will occur in a contiguous pattern that favors areas already served by existing infrastructure.”

- “3. Downtown”...”will be the primary focus for revitalization efforts.”
- “6. Development that integrates mixed-uses and connects with existing urban fabric is encouraged.”

### **3. The Downtown Housing Needs Assessment, November 2013**

#### **Purpose:**

- “Present and evaluate past, current and projected detailed demographic characteristics of Morgantown.”
- “Determine current characteristics of all major housing components within Morgantown.”
- “Calculate a housing gap by tenure and income segment within Morgantown.”

#### **Recommendation:**

It is the recommendation of the Board of Directors of Main Street Morgantown that this project, at this location and with this developer not only be allowed, but be **encouraged** to move forward with this project as presented to The City as soon as possible.

Respectfully submitted,

The Board of Directors,  
Main Street Morgantown  
by Terri R. Cutright, CMSM  
Executive Director